

CITY OF LAREDO

CITY COUNCIL MEETING

A-2004-R-01

CITY COUNCIL CHAMBERS

1110 HOUSTON STREET

LAREDO, TEXAS 78040

JANUARY 12, 2004

5:30 P.M.

DISABILITY ACCESS STATEMENT

Persons with disabilities who plan to attend this meeting and who may need auxiliary aid or services are requested to contact Gustavo Guevara, City Secretary at (956) 791-7308 at least two working days prior to the meeting so that appropriate arrangements can be made. The accessible entrance and accessible parking spaces are located at City Hall, 1100 Victoria Ave.

Out of consideration for all attendees of the City Council meetings, please turn off all cellular phones and pagers, or place on inaudible signal. Thank you for your consideration.

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. MINUTES

Approval of the minutes of November 3, 2003, November 17, 2003 and December 1, 2003.

V. COMMUNICATIONS AND RECOGNITIONS

Announcements

Invitations

- a. Invitation by the City of Laredo Convention and Visitors Bureau to the 2nd Annual Laredo International Festival of Sister Cities, January 29 – February 1, 2004.
- b. Invitation to the Tex-21 Reception and Quarterly Meeting on Thursday and Friday January 29-30, 2004.

Recognitions

- a. Recognition of the nominees for the 2004 Women Hall of Fame. The following women will be inducted on March 7, 2004: Sister Rosemary Welsh-

Health, Diana Saucedo-Civic Volunteer, Michelle Hinojosa-Law Enforcement, Blanca Nalaschi-Professional, Esperanza Sanchez-Education and Raquel Valle-Senties-Arts.

- b. Recognition of the poster contest winners of the 2004 Women Hall of Fame, Aileen Terrazas-Overall Winner, Ana Martinez-Division Winner, Eugenio Villarreal-Division Winner.
- c. Recognition of the 2003 Retirees of the Laredo Fire Department.
- d. Recognition of the Health Department's Vital Statistics Registration staff for being awarded the Exemplary 5 Star Vital Registration and Excellence Award from the Texas Department of Health, Bureau of Vital Statistics.
- e. Recognition of Nora Bertani, of the Convention and Visitor's Bureau Department, on her selection as December 2003 Employee of the Month.
- f. Recognition of Felix Garcia, of the Bridge Department, on his selection as 2003 City of Laredo Employee of the Year.

Communiqués

VI. APPOINTMENTS TO COMMISSIONS, BOARDS AND COMMITTEES

VII. PUBLIC HEARINGS

- 1. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by authorizing the issuance of a Conditional Use Permit for a mechanic shop on Lots 11 & 12, Block 448, Eastern Division, located at 118 & 120 East San Carlos Street; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit.
- 2. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning 2.66 acres, as further described by metes and bounds on attached Exhibit "A" located approximately at the 3900 block of Bob Bullock Loop, from R-3 (Mixed Residential District) to B-4 (Highway Commercial District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
- 3. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning Lots 1 and 2, Unit 1, El Rancho Subdivision, located at 4120 Loop 20, from R-3 (Mixed Residential District) to B-3 (Community Business District); providing for publication and

effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.

4. **Public hearing and introductory ordinance** authorizing the amendment of a Special Use Permit for a mini-storage warehouse, on Lot 1, Block 1, Lago Del Mar Subdivision, Unit 11, located at 7611 Bartlett Avenue; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Special Use Permit.
5. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning Lot 4, Block 236, Western Division, located at 1309 San Dario Avenue, from B-1 (Limited Commercial District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed zone change.
6. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning Lot 8 and the west 22.56 feet of Lot 7, Block 1692, Eastern Division, located at 2401 Arkansas Avenue, from R-3 (Mixed Residential District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
7. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning Lot 2, Block 1, Hilltop Subdivision, Phase I, located at 420 Hilltop Road, from R-3 (Mixed Residential District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
8. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by authorizing the amendment of a Conditional Use Permit for a meat market/supermarket on Lot 2 and the South 1/3 or 23.14' of Lot 4, Block 1056, Western Division, located 4201 Flores Avenue; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit.
9. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by authorizing a Conditional Use Permit for a sign on Lot 5A, Block 849, Eastern Division, located at 1520 East San Pedro Street; providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed Conditional Use Permit.

10. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning 0.05 acres, as further described by metes and bounds on attached Exhibit "A" located northwest of the intersection of Loop 20 and the Texas Mexican Railroad right-of-way, from R-1 (Single Family Residential District) to B-4 (Highway Commercial District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
11. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning 2.00 acres, as further described by metes and bounds on attached Exhibit "A" located west of South Lucy Avenue and south of Cassata Lane, from R-1 (Single Family Residential District) to R-1A (Single Family Reduced Area District); providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed zone change.
12. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning 219.26 acres, as further described by metes and bounds on attached Exhibit "A" located west of Mines Road and south of Bob Bullock Loop, from R-1 (Single Family Residential District), and M-1 (Light Manufacturing District) to R-1A (Single Family Reduced Area District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
13. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning 8.89 acres, as further described by metes and bounds on attached Exhibit "A" located west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to B-4 (Highway Commercial District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
14. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by rezoning 41.25 acres, as further described by metes and bounds on attached Exhibit "A" located west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to R-2 (Multi-Family Residential District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
15. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by authorizing a Conditional Use Permit for a second single family residential dwelling on Lot 1 and the west ½ of Lot 2, Block 1158, Eastern Division, located at 2001 Piedra China

Street; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit.

16. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by authorizing a Conditional Use Permit for the outdoor storage of heavy equipment on Lot 1G, Block 1, Jacaman Ranch, Unit 1, located at 6320 Krone Lane; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit.
17. **Public hearing and introductory ordinance** amending the Zoning Ordinance Map of the City of Laredo by authorizing a Planned Unit Development Specific Use Overlay District on Lot 1A, Block 1, Pan American Mobile Home Park, located approximately at 4502 Game Creek Road; providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed Planned Unit Development Specific Use Overlay District.
18. **Public hearing and introductory ordinance** amending Article I Section 24.1.3.2, Responsibilities of the Board of Adjustment, Creating Section 24.1.8, Standard Technical Specification Manual Committee, Creating Article III Section 24.58, Standard Technical Specification Manual, Creating Article VI Section 24.96, Amendment Procedures for the Standard Technical Specification Manual, of the Laredo Land Development Code of the City of Laredo, providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change.
19. **Public hearing and introductory ordinance** authorizing the City Manager to accept \$2,750.00 in various donations to the City of Laredo Parks and Recreation Department and amending the City of Laredo FY 2003-2004 annual budget by 1) appropriating revenues in the amount of \$2,250.00 in the form of equal amount donations of \$750.00 each from: South Texas National Bank, International Bank of Commerce and Escamilla and Poneck, Inc., and appropriating expenditures in the amount of \$2,250.00 for the attendance at Austin Expo 2004 in Austin, Texas; 2) appropriating revenues of \$500.00 in the form of a donation from HEB Food Stores and appropriating expenditures in the amount of \$500.00 for the purchase of recreational equipment for the Mario Tijerina Park ribbon cutting ceremony.
20. **Public hearing and introductory ordinance** authorizing the City Manager to enter into an agreement with the Texas Parks and Wildlife Department to accept a grant in the amount of \$489,793.00 and amending the City of Laredo Fiscal Year 2004 Capital Improvements Projects Fund annual budget by appropriating revenues and expenditures in the amount of

\$979,586.00 for the construction and redevelopment of Zacate Creek Linear Park with 50% funding from the Texas Parks and Wildlife Outdoor Recreation Grant Program and 50% local matching funds from Community Development Block Grants (\$81,679.00) and a Tex-Mex land donation (\$408,114.00).

21. **Public hearing and introductory ordinance** authorizing the City Manager to accept a contribution to the City of Laredo Parks and Recreation Department in the amount of \$12,500.00 from the Prairie Foundation and amending the City of Laredo FY 2003-2004 annual budget by appropriating revenues of \$12,500.00 in the form of a contribution from the Prairie Foundation and appropriating expenditures in the amount of \$12,500.00 for the 2004 Summer Playground registration fees.
22. **Public hearing and introductory ordinance** amending the City of Laredo FY 2003-2004 annual budget by increasing expenditures and revenues in the amount of \$65,750.00 from the Texas Department of Health and \$36,965.00 in Program Income for a six-month budget for the Immunization Action Program of the City of Laredo Health Department for the grant period beginning on January 1, 2004, through December 31, 2004; and amending the Full-Time Equivalent Positions by -.13.
23. **Public hearing** amending the 2003 Consolidated One-Year Action Plan to reprogram a total of \$75,000.00 of the 29th Action Year (AY) 2003 Community Development Block Grant (CDBG) funds by reducing the amount of funding for the South Laredo Cross Street Park Project, from \$300,000.00 to \$225,000.00 and creating a new activity known as the South Laredo (Mario Tijerina) Park Lighting Project totaling \$75,000.00.

VIII. GENERAL COUNCIL DISCUSSIONS AND PRESENTATIONS

24.
 - A. **Request by Council Member Hector J. Garcia**
 1. Discussion with possible action on placing more street lights on Clark between Arkansas to Bob Bullock Loop.
 - B. **Request by Mayor Pro-Tempore John Galo**
 1. Discussion with possible action on establishing a program to allow interns to assist the Mayor and City Council.
 2. Discussion with possible action regarding trash bags and other trash within the city limits.
 - B. **Request by Council Member Gene Belmares**
 1. Discussion with possible action on creating a speed watch program.

C. **Request by Council Member Jose A. Valdez, Jr.**

1. Discussion with possible action regarding the parking situation at 1400 Pierce and surrounding areas.
2. Recognition of the AARP for being the most active local chapter in the state.
3. Discussion with possible action on the relocation of a power pole located at 1004 Lafayette.
4. Status report on the CP&L Road, with possible action.

D. **Request by Council Member Juan Ramirez**

1. Discussion with possible action on modifications to Bridge II due to the current high alert.
2. Discussion with possible action regarding driving safety precautions by law enforcement within the city limits.
3. Status report on Calle Iturbide.

(Recess)

(Press Availability)

IX. INTRODUCTORY ORDINANCES

25. Authorizing the City Manager to execute a lease agreement with Webb County for approximately 2,378 square feet constituting Building No. 1228 located at 4704 Naranjo Street at the Laredo International Airport. Lease term is for fifteen (15) months commencing on May 1, 2003 and ending on July 31, 2004. Monthly rent shall be \$1,500.00; providing for an effective date.
26. Setting the maximum speed limits on that portion of Jacaman Road between Summerwind Boulevard and Sinatra Parkway, within the city limits of Laredo, Webb County, Texas, as 40 mph as defined in the control section map provided by the City of Laredo, Traffic Safety Department.
27. Authorizing the City Manager to enter into a lease agreement by and between the Laredo Transit Management, Inc., and the City of Laredo Community Development Department for the lease of 6,628 sq.ft. of building space at the Laredo Transit Center located at 1301 Farragut (East) second and third floors (East) for a monthly sum of \$4,218.97 for a term of three (3) years commencing on February 1, 2004.

X. RESOLUTIONS

28. **2004-R-001** Accepting the assignment of 7.758 acre feet of municipal water rights from the balance of 244.6125 acre feet deeded to the City of Laredo by Vaquillas Ranch Company, Ltd. by applying 1 acre feet of municipal water rights for water availability charges, and 0.158 acre feet for

meter connections fees for the final plat of San Isidro Monarch Unit I; and 6.6 acre feet of municipal water rights for water availability charges in connection with the final plat of Concord Hills Phases VI, VII and VIII.

29. **2004-R-002** Accepting the donation of two utility easements for the Pueblo Nuevo Subdivision easement acquisition project, these being:
 - a. A 0.0388 acre parcel from Maria del Carmen Serna which is out of Lot 11, Block 13 Pueblo Nuevo Subdivision, described by metes and bounds and survey attached as Exhibits A and B; and
 - b. A 0.0302 acre parcel from Maria del Carmen Serna which is out of Lot 12, Block 13 Pueblo Nuevo Subdivision, described by metes and bounds and survey attached as Exhibits C and D.
30. **2004-R-003** Accepting the donation of the "surface only" of a parcel of land from Cielito Lindo, Ltd., a Texas Limited Partnership, for the construction of a fire station in the Cielito Lindo Subdivision. Said parcel of land being Lot 2, Block 3, Cielito Lindo Subdivision, City of Laredo, Webb County, Texas.
31. **2004-R-004** Authorizing the City Manager to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, name Webb County's Sheriff's Department and the city's law enforcement agency, name the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control and general law enforcement both within and beyond the city limits during the "Menudo Bowl" scheduled for January 24, 2004.
32. **2004-R-005** Authorizing the City Manager to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, name Webb County's Sheriff's Department and the city's law enforcement agency, name the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control and general law enforcement both within and beyond the city limits during the various Washington's Birthday Celebration festivities scheduled for January 31, 2004 to February 28, 2004.
33. **2004-R-006** Declaring the public necessity to utilize the area under IH 35, between Park Street and Sanchez Street as a parking staging area on January 31, 2004 for the Jamboozie Festival, February 18, 2004 for the Annual Youth Parade and February 21, 2004 for the Washington's Birthday Parade and authorizing the City Manager to enter into an agreement with the Texas Department of Transportation for the use of said property.

34. **2004-R-008** Accepting the donation of a 12.8167 acre parcel of land from the Texas-Mexican Railway Company as legally described on the special warranty deed attached as Exhibit "A" and authorizing the donation of this parcel of open space land in the city for development as part of the Zacate Creek Linear Park.
35. **2004-R-009** Authorizing the City Manager to submit a grant application with the Office of Governor, Criminal Justice Division for \$1,142,115.00 to fund the Laredo Narcotics Task Force. The City of Laredo and participating agencies will designate 25% of the amount awarded. This funding will be used to pay salaries, direct operating expenses and the purchase of equipment from June 1, 2004 through May 31, 2005.
36. **2004-R-010** Authorizing the City Manager to enter into an agreement between the City of Laredo and South Texas National Bank of Laredo for funding the installation of a traffic signal on McPherson Road at Sterling Loop/Tiara Trail.

XI. MOTIONS

37. Consideration to reschedule the City Council meeting of Monday, February 16, 2004 to Tuesday, February 17, 2004, due to President's Day holiday.
38. Authorizing the City Manager to: (1) execute the City of Laredo's Contract for 9-1-1 Services with the South Texas Development Council (STDC) and the Texas Commission on State Emergency Communications (CSEC) relating to establishing the City of Laredo as the administrator for the provision of all 9-1-1 emergency services for Laredo and for the counties of Jim Hogg, Starr, Webb, Zapata and cities within this area; (2) execute all necessary interlocal agreements with each county and city within the 9-1-1 area regarding the respective 9-1-1 system responsibilities of said entities; and (3) submit the revised FY 2004-2005, Stage Two 9-1-1 Regional Strategic Plan to the CSEC for approval.
39. Authorization to advertise for bids for the construction of the Chacon Extension Wastewater Trunk Line Project from Highway 59 and the Chacon Creek to the Bob Bullock Loop east of the Laredo Entertainment Center. The construction of the project is scheduled for 360 calendar days. Funding is available in the 1998-A Bond Issue Chacon interceptor.
40. Authorizing the City Manager to initiate termination of construction contract with Pete Gallegos Paving, Inc., Laredo, Texas, for the Santa Rita Park Improvements Projects pursuant to paragraph C-9.08 of the construction contract documents and the Engineer's Certificate stating that sufficient

cause exists to justify termination of the construction contract, and to take actions as are permitted under the terms of the construction contract.

41. Authorizing the City Manager to initiate termination of construction contract with Pete Gallegos Paving, Inc., Laredo, Texas, for the Eastwoods Park Project due to "Notice of Abandonment or Default of Contract" pursuant to paragraph C-9.08 of the construction contract documents and the Engineer's Certificate stating that sufficient cause exists to justify termination of the construction contract and take actions as are permitted under the terms of the construction contract.
42. Consideration for approval of final change order no. 2 a decrease of \$1,437.50, acceptance of the CDBG Sidewalks City-Wide Project No. 23 (29 Blocks) and approval of final payment in the amount of \$13,445.71 to Triple A Concrete, Inc., Laredo, Texas. Final contract amount is \$107,007.07. Funding is available in the School Sidewalks 28th Action Year/2002 Grant.
43. Consideration to award a professional services contract to TEC Engineers & Consultants, Inc., Laredo, Texas, in the amount not to exceed \$21,000.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 25 (30 Blocks). Funding is available in the Community Development Projects/Sidewalks.
44. Consideration to award a professional services contract to Foster Engineering Company, Laredo, Texas, in the amount not to exceed \$21,000.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 26 (30 Blocks). Funding is available in the Sidewalk 23rd Action Year /1997 Grant.
45. Consideration to award a professional services contract to Arcadis, Laredo, Texas, in the amount not to exceed \$22,400.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 27 (32 Blocks). Funding is available in the Community Development Projects/Sidewalks.
46. Consideration to award a professional services contract to Howland Surveying Company Laredo, Texas, in the amount not to exceed \$21,000.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 28 (30 Blocks). Funding is available in the Sidewalk 23rd Action Year/1997 Grant and Sidewalk 26th Action Year/2000 Grant.
47. Consideration to amend the 29th Action Year 2003 Consolidated One Year Action Plan to reprogram a total of \$50,000.00 from the 2003 Community Development Block Grant (CDBG) funds by deleting the Inner City Park Phase II-Irrigation/Landscaping Improvements and creating a public service

activity known as the Inner City Technology Instruction Program totaling \$50,000.00.

48. Authorizing the City Manager to (1) amend its 2002 Emergency Shelter Grant (ESG) contract with the Laredo Homeless Coalition by reducing the amount of shelter operation funds by a total of \$60,000.00 from \$75,000.00 to \$15,000.00 and (2) to enter into contract and award the \$60,000.00 to Catholic Social Services, Inc., for shelter operations of La Frontera Halfway House. These changes pertain to 2002 Emergency Shelter Grant Funds which are made available by the U.S. Department of Housing and Urban Development.
49. Consideration for approval of a consultant to perform asbestos material investigations for city owned commercial and residential structures for FY 2003-2004 and authorization to negotiate a professional services contract. Funding is available in the Improvements Other Than Buildings Account.
50. Consideration for approval of the selection of consultant for the Chacon Creek Hike and Bike Trail Phase II and authorization to negotiate a professional services contract. Funding is available in the Capital Improvement Fund Chacon Creek Hike and Bike Trail.
51. Authorizing the City Manager to sign an inter-local agreement with the International Boundary and Water Commission (IBWC) to collect quarterly Water Quality samples from Manadas Creek for the Clean River Program (CRP) for the period of September 1, 2003 through August 31, 2005. IBWC is under contract with Texas Commission on Environmental Quality (TCEQ) and is responsible for collecting the water quality data from seventy-two monitoring stations along the Rio Grande River. Under the agreement, the Environmental Services will collect eight (8) water quality samples and send to the IBWC contract lab, so there will be no cost for sample analysis except for the manpower to collect the samples.
52. Consideration to award a construction contract to the lowest bidder SCS Field Services, Long Beach, California, for the construction of a landfill gas collection system expansion at the City of Laredo Landfill in the bid amount of \$95,314.60. Funding is available in the Solid Waste Fund.
53. Motion to approve seventeen contracts payable from the Hotel/Motel Tax Fund. These contracts are for fiscal year 2004 and total \$441,170.00. The contracts are listed as follows:

Laredo Chamber of Commerce – Cola Blanca	\$ 10,000.00
LULAC #7	\$ 5,000.00
LULAC #12	\$ 5,000.00
Society of Martha Washington	\$ 9,000.00

Washington's Birthday Celebration Association	\$ 19,000.00
Washington's B-Day Celebration Museum	\$ 9,000.00
Laredo Children's Museum	\$ 49,000.00
Webb County Heritage Foundation	\$ 49,000.00
Laredo Center for the Arts	\$130,360.00
Laredo Little Theater	\$ 27,758.00
Latin American Sports Hall of Fame	\$ 4,000.00
L.C.C. Dance/Music Community Productions	\$ 31,815.00
Laredo Philharmonic Chorale	\$ 2,340.00
Laredo Philharmonic Orchestra	\$ 37,897.00
T.A.M.I.U. Dance Productions	\$ 9,000.00
Border Olympics	\$ 25,000.00
Streets of Laredo Urban Mall	\$ 9,000.00
Mexican Cultural Institute of Laredo	\$ 9,000.00

54. Approving monthly adjustments to the tax roll. The amount to be adjusted for month of November and December 2003 represents an increase of \$245,549.95. These adjustments are determined by Webb County Appraisal District and/or by court orders.
55. Refund of property tax to the following taxpayers and companies:
 - a. A refund in the amount of \$508.14 payable to Ricardo Rodriguez, due to an overpayment by the mortgage company Account #938-80001-060.
 - b. A refund in the amount of \$709.64 payable to Michael Brock, due to a double payment by the mortgage company, Account #938-50001-140.
 - c. A refund in the amount of \$1,086.47 payable to Wells Fargo Real Est. Tax SVCS, LLC, due to an erroneous payment by the mortgage company. Account #989-10002-180.
 - d. A refund in the amount of \$1,104.67 payable to Eduardo Diaz Realty, Inc., due to an overpayment by the taxpayer. Account #972-90004-060.
 - e. A refund in the amount of \$956.09 payable to Falcon National Bank, due to an overpayment by the bank. Account #933-00001-030.
 - f. A refund in the amount of \$ 618.33 payable to Falcon National Bank due to an overpayment by the bank. Account #103-00120-100.
 - g. A refund in the amount of \$685.72 payable to Columbus Energy Corporation, due to a Webb County Appraisal change of value certified by the Appraisal Review Board for property that did not exist. Account #801-03023-135.
 - h. A refund in the amount of \$578.90 payable to Robert Ray and Amy Isabel Marshall, due to a Webb County Appraisal District change of value certified by the Webb County Appraisal Review Board for split property. Account #900-90221-214.
56. Consideration to award contract number FY04-026, to the low bidder, JJJ Int'l Safety Equipment, Laredo, Texas, in the estimated annual amount of \$24,601.35, for the purchase of thirty different types of traffic signs. These

signs which will be used to replace damaged or faded signs. The bid pricing will be firm for one year. Funding is available in the Traffic Safety budget.

57. Consideration to award contract number FY04-024 to the low bidder, Al & Rob Sales, Laredo, Texas, in the estimated amount of \$54,582.55 for the purchase of uniforms for Bridge Department personnel. The contract pricing is approximately 2% less than the previous contract amount. The uniforms will be delivered thirty days after measurements have been completed. Funding is available in the Bridge Fund.
58. Consideration to ratify the emergency purchase of 42" wastewater pipe from Hobas Pipe USA, Inc. Houston, Texas, in the amount of \$46,096.60. This pipe will be used to repair the Zacate Wastewater Treatment influent raw wastewater line which sustained a major failure on October 13, 2003. The City Manager has authorized the emergency purchase of this pipe to facilitate the necessary repairs. Funding is available in the Utilities Department-Wastewater Construction Project budget.
59. Ratify and approve action taken by the City Manager on December 5, 2003 to authorize an emergency contract to Grant Brothers, L.L.C. in the amount of \$579,193.00 for the repair of the collapsed 42" raw wastewater line into the Zacate Creek Wastewater Treatment Plant.
60. Authorization of the selection of the firm Ferris and Flinn of Harlingen, Texas to update the Utilities Department's Capital Improvements Program for calculation of the impact fees. This project consist of updating the CIP, providing a hydraulic model of the water system, wastewater model and a master plan for both water and wastewater improvements.
61. Consideration to award contract FY04-023 to the sole bidder, G.H. Construction, Inc., d/b/a G.H. Pools, Laredo, Texas, in the amount of \$49,558.00 for the rehabilitation of the Del Mar swimming pool. The scope of work includes removing and installing new borders, coping, wall steps, lane anchors, and depth markers along with the replastering of the entire pool. Funding is available in the Capital Improvement Project budget.
62. Consideration to award of supply contract number FY04-027 to the following low bidders: Libcon Inc. d/b/a Leyendecker Materials, Laredo, Texas in the estimated amount of \$1,102,500.00, for the purchase of asphalt, black base, flexible base, sand, and gravel; City Ready Mix, Laredo, Texas in the estimated amount of \$184,000.00, for the purchase of ready mix cement; Martin Marietta, Corpus Christi, Texas in the estimated amount of \$118,250.00 for the purchase of Type A Flexible Base; Marlin Asphalt, Corpus Christi, Texas in the estimated amount of \$13,811.50 and GSAC, Houston, Texas in the estimated amount of \$4,200.00 for the purchase of asphalt oils. These will be the primary vendors for the purchase of

materials required for all city paving and construction projects. The contract pricing for asphalt is approximately 0.5% higher than the previous contract price. Funding is available in the Engineering Department - Public Works Division budget and construction project budgets.

63. Consideration to award contract number FY04-034 to the low bidder, RM Personnel, Inc., Laredo, Texas in the estimated amount of \$64,220.00 for providing contract employees for the Police Department and lots must be drawn, pursuant to provisions of Section 271.901 of the Local Government Code, to determine the low bidder for the contract employees requested by the Traffic Safety and Convention and Visitors Bureau Departments for an estimated contract amount of \$26,160.40. RM Personnel and Staff Force bid the same hourly rate for these two departments. Temporary contract employees have been requested for office and custodial positions. Funding is available in the respective departmental budgets.
64. Consideration to award contract number FY04-028 to the sole bidder, Consolidated Traffic Controls, Inc., Arlington, Texas, in the amount of \$36,245.00 for the purchase of microwave radios and pager programmable time switches. The microwave radios will be used for ongoing traffic signal upgrades, for replacements at damaged traffic signal locations and for new traffic signal installations. The equipment provides the necessary communication from the remote site(s) and the central computer located at the Traffic Safety Department Office. The pager programmable system allows for remote programming and activation of school flashing beacons throughout the city. Funding is available in the Traffic Safety Department Capital Improvement Project budget.
65. Consideration for approval of change order no. 4 to the construction contract with Brothers Paving, Inc., Laredo, Texas, for the San Francisco Xavier Road Street Improvements Project to add ninety (90) working days to the construction contract time to address erosion problems. Funding is available in the Capital Improvement Fund San Francisco Xavier Road Project.
66. Consideration for approval of the selection of consultant Matrix Security Systems, Inc., Dayton, Ohio, for the Laredo International Airport Security Related Improvements (Design/Build) Project and authorization to negotiate a professional services contract. Funding is available in the Airport Construction Fund - FAA Grant #34.
67. Consideration for approval of acceptance of the Laredo Entertainment Center construction project. A one-year warranty walk-through inspection was held on November 13, 2003. "Punch-list" items, ADA/TAS (American with Disabilities Act/Texas Accessibility Standards) items, as well as outstanding warranty items were reviewed and discussed. Punch-list items

in existence as of the date of substantial completion are completed with the exception of one ADA/TAS item. This item is the power door operators for the housekeeping and Zamboni rooms.

68. Consideration to award contract FY04-030, to the low bidder, A Clean Portoco, Laredo, Texas, in the estimated amount of \$25,000.00 for providing portable restrooms for City parks, City sponsored events, and construction job sites. All services will be secured on an as needed basis. Contract pricing has been secured for daily, weekend, and monthly service. The bid pricing is the same as last year. Funding is available in the Public Works-Street Reconstruction and Parks and Recreation Departments budgets.
69. Authorizing the City Manager to submit a grant application and execute all required documents resulting from this submission to the Federal Transit Administration (FTA) for the Individualized Marketing Demonstration proposal. The FTA is undertaking a research demonstration program aimed at increasing public transit ridership with a minimal need for capital investments and has proven successful in Portland, Oregon. Laredo will be competing with transit agencies throughout the U.S. Only four communities will be selected for the pilot marketing program.
70. Consideration to authorize the City Manager to execute a contract with Petroleum Solutions of San Antonio, Texas, in the amount of \$114,185.62 for the design/construction of an aboveground storage tank fueling station at the City of Laredo Solid Waste Facility on Highway 359. Funding is available in the Solid Waste Fund.

XII. STAFF REPORTS

71.

- A. Presentation by US Army Corps of Engineers regarding the creation of the Restoration Advisory Board (RAB) for the Former Laredo Air Force Base. The RAB is a forum of discussion and exchange of information about an installation's Restoration/Base Realignment and Closure (IR/BRAC) or Formerly Used Defense Sites (FUDS).
- B. Staff report on park projects for District II, District V, and District VII, and District VIII, with possible action.
- C. Status report on the Calle Iturbide Project.
- D. Presentation by Roberto Murillo, Traffic Safety Director, regarding implementation of a recommended plan of action for the taxicab industry that is consistent with some of the findings and recommendations

identified in a recently conducted City of Laredo Taxicab Industry Study, with possible action.

XIII. EXECUTIVE SESSION

The City Council hereby reserves the right to go into executive session at any time during this public meeting, if such is requested by the City Attorney or other legal counsel for the City, pursuant to his or her duty under Section 551.071(2) of the Government Code, to consult privately with his or her client on an item on the agenda, or on a matter arising out of such item.

72. Executive Session pursuant to Section 551.071 of the Government Code to discuss with City Attorney the pending case of Martin Villarreal et al. v. City of Laredo, et al. Cause No. L-03-11 in the U.S. District Court, Southern District of Texas, Laredo Division, and return to open session for possible action thereon.
73. Request for executive session pursuant to Texas Government Code Section 551.072 in order to deliberate on the possible purchase, lease, or value of the Camino Colombia Toll Road, because deliberation in an open meeting would have a detrimental effect on the position of the City Council in negotiations with third persons; and return to open session for possible action.

XIV. RECESS AS THE LAREDO CITY COUNCIL AND CONVENE AS THE LAREDO MUNICIPAL HOUSING CORPORATION

74. Consideration to award contract FY04-034 to the low bidder, RM Personnel, Inc., Laredo, Texas, in the estimated amount of \$25,000.00 for providing contract employees for the Noise Abatement Program. Three contract employees will be required to work on an as needed basis, as a groundskeeper, maintenance worker, and clerk. Funding is available in the Noise Abatement Lease Program budget administered by the Laredo Municipal Housing Corporation.

XV. ADJOURN AS THE LAREDO MUNICIPAL HOUSING CORPORATION AND CONVENE AS THE LAREDO MASS TRANSIT BOARD

75. Authorizing the City Manager to waive the parking fee for persons attending the Jamboozie Festival and implementing a flat fee charge of \$200.00 to the Streets of Laredo Urban Mall Association for personnel costs, overtime and extra security for traffic and crowd control for the use of the parking facility at 9:00 p.m. on January 31, 2004 to 2:00 a.m. on February 1, 2004.
76. Authorizing the City Manager to adjust the number of weekly service hours from ninety-seven (97) to forty-two (42) on route 21 South Laredo TAMIU,

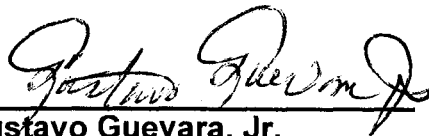
effective January 19, 2004, by transferring 55 service hours to the following two routes due to higher ridership. The transfer of forty-two (42) out of the fifty-five (55) service hours shall be added to route 14 Santa Rita upon the opening of the LCC South Campus, therefore increasing the number of weekly service hours from 93 to 135. The remaining thirteen (13) transferred service hours shall be added to route 16 TAMIU effective January 19, 2004, therefore increasing the number of weekly service hours from 91 to 104.

77. Consideration to award contracts for providing group health insurance coverage, for a period of twelve months, to Blue Cross Blue Shield of Texas in the estimated annual amount of \$1,042,748.00; life insurance with accidental death and dismemberment (AD&D), for a period of three years, in the estimated annual amount of \$14,889.00 to Mutual of Omaha; and short term disability insurance, for a period of two years, in the estimated annual amount of \$71,440.00 to Mutual of Omaha. The insurance agent for these policies will be Laurel Insurance Agency & Associates, Inc., Laredo, Texas. An evaluation of the numerous proposals was undertaken by staff, an independent consultant and an El Metro employee insurance committee. The collective agreement between the transit union and Laredo Transit Management Inc. requires the system to pay 100% of the employee cost and 50% of the dependent cost for the group health insurance plan and 100% of the cost for the life insurance and short term disability for eligible employees. The cost for the health insurance will be same as the previous twelve month period, but the group life and short term disability insurance annual cost to the transit system will be \$41,451.00 less. Funding is available in the Transit budget.

XVI. ADJOURN AS THE LAREDO MASS TRANSIT BOARD AND RECONVENE AS THE LAREDO CITY COUNCIL

XVII. ADJOURNMENT

This notice was posted at the Municipal Government Offices, 1110 Houston Street, Laredo, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on January 7, 2004 at 7:30 p.m.


Gustavo Guevara, Jr.
City Secretary

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the issuance of a Conditional Use Permit for a mechanic shop on Lots 11 & 12, Block 448, Eastern Division, located at 118 & 120 East San Carlos St; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit. <div style="text-align: right;">ZC-72b-2002</div>	
Initiated by: Elsa L. Gonzalez		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None.		
BACKGROUND <p>Council District: V – Eliseo Valdez, Jr.</p> <p>Proposed use: Commercial (a mechanic shop engaging in general or heavy automotive repairs)</p> <p>Site: The site is completely fenced and paved and is occupied by a manufactured home, presumably to be used as an office for the proposed use. (presently zoned B-1, Limited Commercial District)</p> <p>Surrounding land uses: The site is completely surrounded by a mix of residential uses with the exception of the outdoor storage, and oil change shop, a small used car lot, Leyendecker Construction, and two other small mechanic shops to the north and Mr. T. Auto Truck Service to the east.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.</p> <p>Transportation Plan: Neither Sanders Ave. or San Carlos St. are not identified on the Long Range Thoroughfare Plan.</p>		
Letters sent to surrounding property owners: 30 In Favor: 1 Opposed: 2		
STAFF COMMENTS <p>Staff does not support the authorization of the Conditional Use Permit. The intended use is incompatible to its primarily residential surroundings and its Low Density Residential designation. Further intrusion of commercial uses will almost certainly have a negative impact on the surrounding neighborhood. Though Staff does not support the issuance of the Conditional Use Permit, the following conditions are recommended:</p> <ol style="list-style-type: none"> 1. Hours of operation shall be limited to those between Monday thru Saturday, 8:00 am to 6:00 pm. 2. At least ten (10) percent of the lot area shall be devoted to landscaping. All property shall be kept in an attractive fashion with landscaping properly maintained. All trash, garbage and all other waste shall be kept in sanitary containers, which at all times must be concealed from public view. 3. The entire lot shall be paved except for the area landscaped. 4. Seventy-five (75) percent of the buildings shall be composed of masonry, glass, or brick. <div style="text-align: right;">Comments continued...</div>		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 5 to 3 vote, recommended approval of the Conditional Use Permit.		STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed Conditional Use Permit.

COUNCIL COMMUNICATION

STAFF COMMENTS CONTINUED:

5. Inoperative cars or trucks shall not be allowed.
6. All vehicles on site as a result of the mechanic shop shall be parked inside the facility at all times.
7. Heavy equipment or large trucks shall not be allowed.
8. Parking shall comply with the Laredo Land Development Code.
9. Property adjoining a residential zone shall be divided from that zone by an opaque fence of at least seven (7) feet high.
10. All lighting on site must be directed inward and away from abutting residential structures.
11. Signage shall be limited to that which is permitted by the B-1 zoning district.
12. The C.U.P. is issued to Elsa L. Gonzalez and is nontransferable.

IMPACT ANALYSIS

Conditional Use Permit - a permit granted solely on a discretionary and conditional basis by the City Council, which authorizes a land use in a zoning district in which that use is not normally permitted. All requirements of a Conditional Use Permit are in addition to and supplemental land development code requirements.

B-4 (Highway Commercial District): The purpose of the B-4 District is to provide for those businesses and services serving a regional area which are to be located primarily along principal (major) arterial streets or the freeway, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily along principal arterial streets or the freeway and to impose site development regulations to ensure adequate access of all uses within this classification.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING THE ISSUANCE OF A CONDITIONAL USE PERMIT FOR A MECHANIC SHOP ON LOTS 11 & 12, BLOCK 448, EASTERN DIVISION, LOCATED AT 118 & 120 EAST SAN CARLOS ST.; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the applicant has requested the issuance of a Conditional Use Permit for a mechanic shop on Lots 11 & 12, Block 448, Eastern Division, located at 118 & 120 East San Carlos St.; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 4, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed Conditional Use Permit; and,

WHEREAS, notice of the amendment request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the proposed amendment appropriate and consistent with the General Plan of the City of Laredo.

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by authorizing the issuance of a Conditional Use Permit for a mechanic shop on Lots 11 & 12, Block 448, Eastern Division, located at 118 & 120 East San Carlos St.

Section 2: This Ordinance is further restricted to the following provisions herewith adopted by the City Council:

1. Hours of operation shall be limited to those between Monday thru Saturday, 8:00 am to 6:00 pm.
2. At least ten (10) percent of the lot area shall be devoted to landscaping. All property shall be kept in an attractive fashion with landscaping properly maintained. All trash, garbage and all other waste shall be kept in sanitary containers, which at all times must be concealed from public view.
3. The entire lot shall be paved except for the area landscaped.
4. Seventy-five (75) percent of the buildings shall be composed of masonry, glass, or brick.
5. Inoperative cars or trucks shall not be allowed.
6. All vehicles on site as a result of the mechanic shop shall be parked inside the facility at all times.
7. Heavy equipment or large trucks shall not be allowed.
8. Parking shall comply with the Laredo Land Development Code.
9. Property adjoining a residential zone shall be divided from that zone by an opaque fence of at least seven (7) feet high.
10. All lighting on site must be directed inward and away from abutting residential structures.
11. Signage shall be limited to that which is permitted by the B-1 zoning district.
12. The C.U.P. is issued to Elsa L. Gonzalez and is nontransferable.

Section 3: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

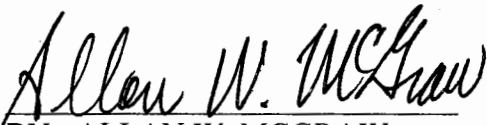
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: ALLAN W. MCGRAW
ASSISTANT CITY ATTORNEY

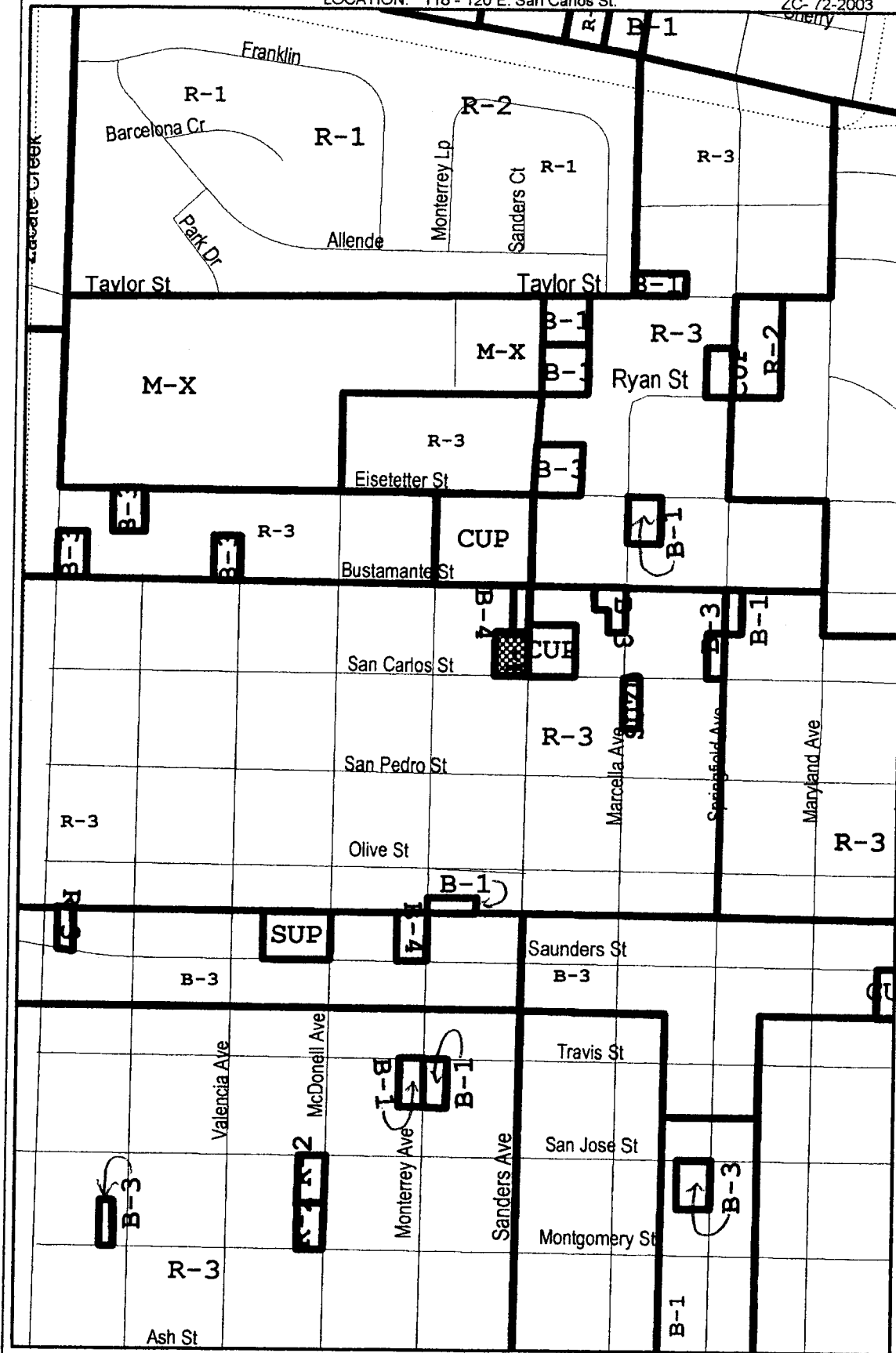
**Rezone from B-1 (Limited Business District)
To B-4 (Highway Commercial District)**

City of Laredo
Planning Department
Feet

LOCATION: 118 - 120 E. San Carlos St.

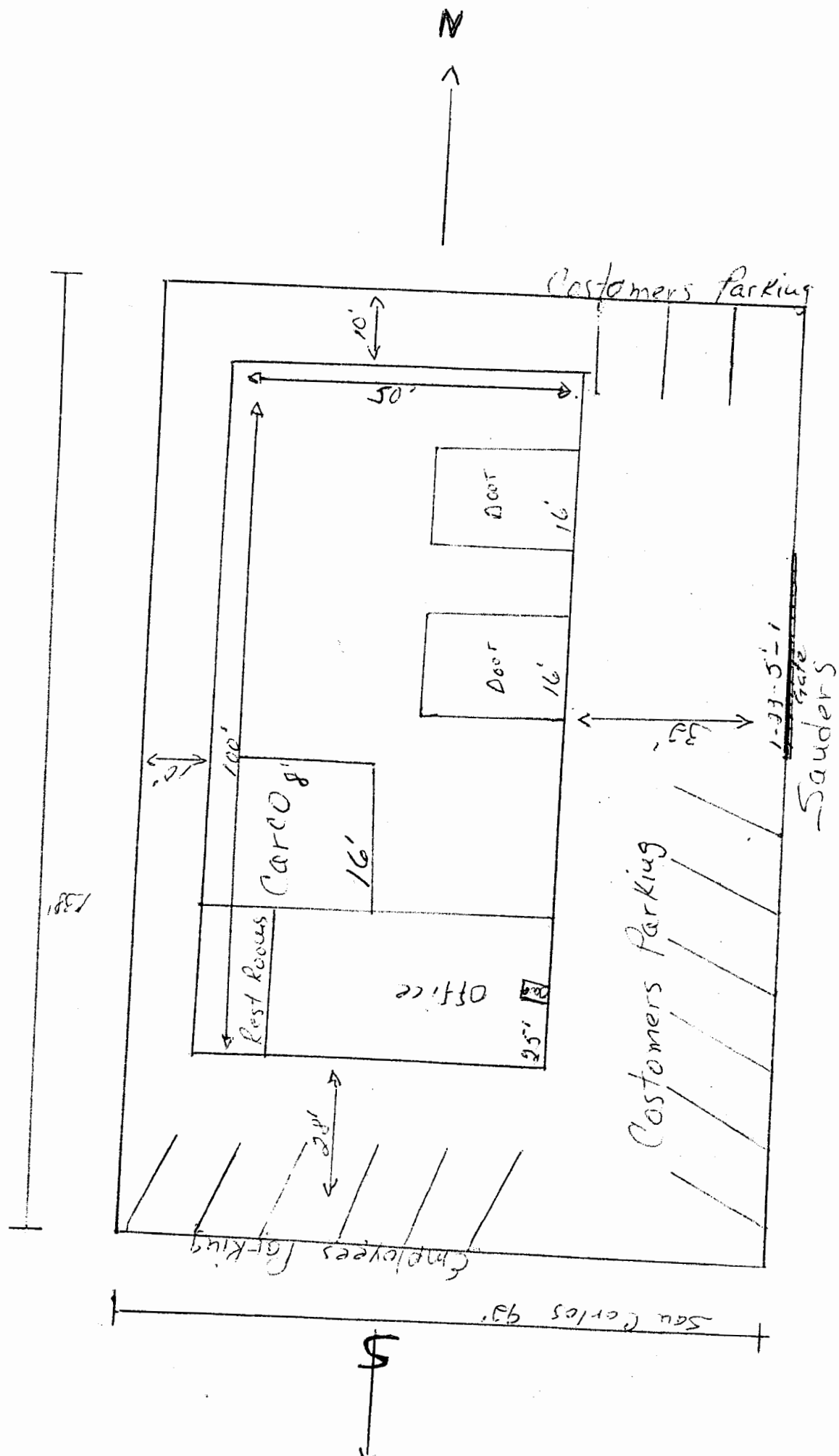
ZC-72-2003

500

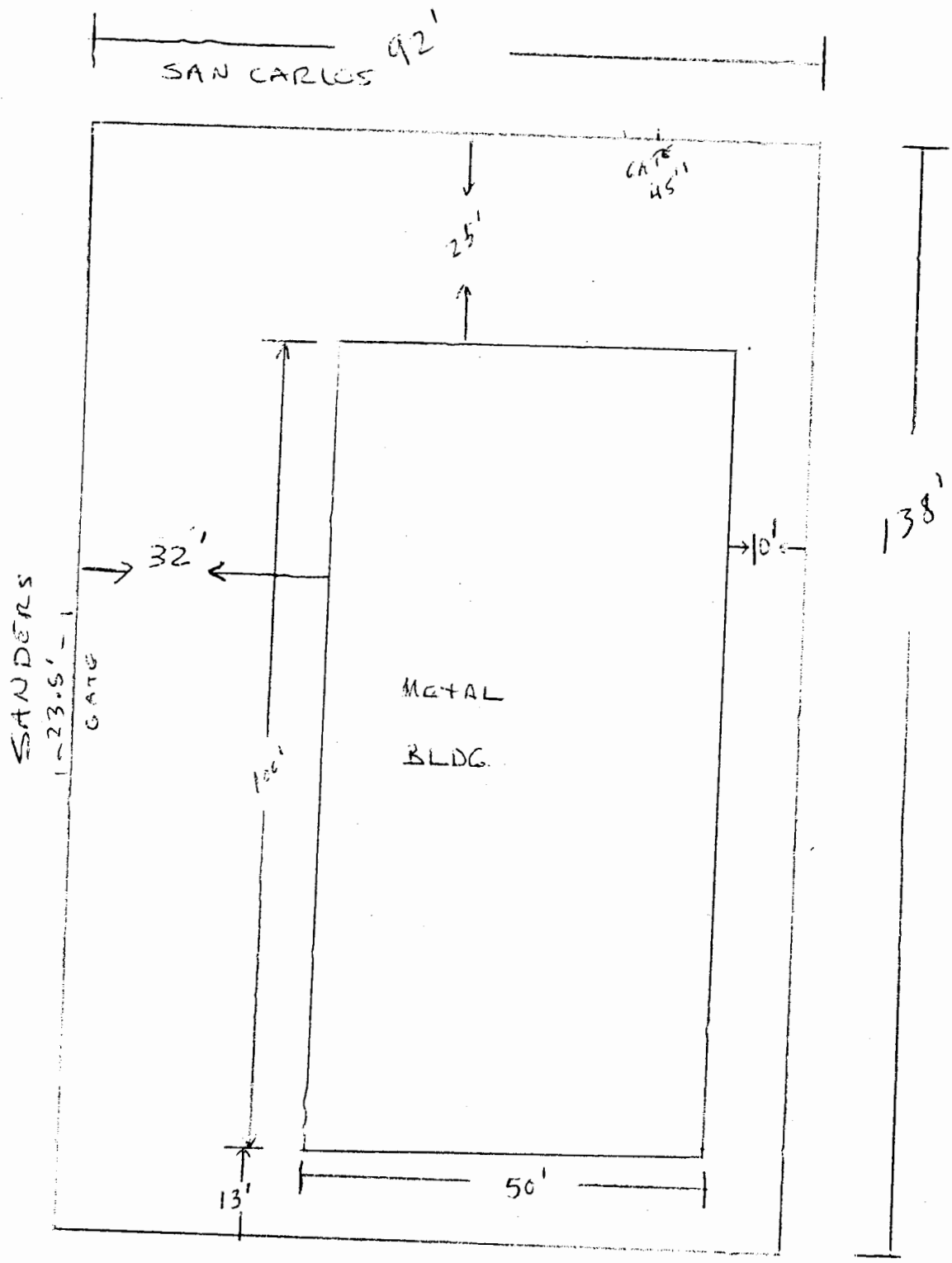


**City of Laredo
Zoning Map**





Sign
8x16

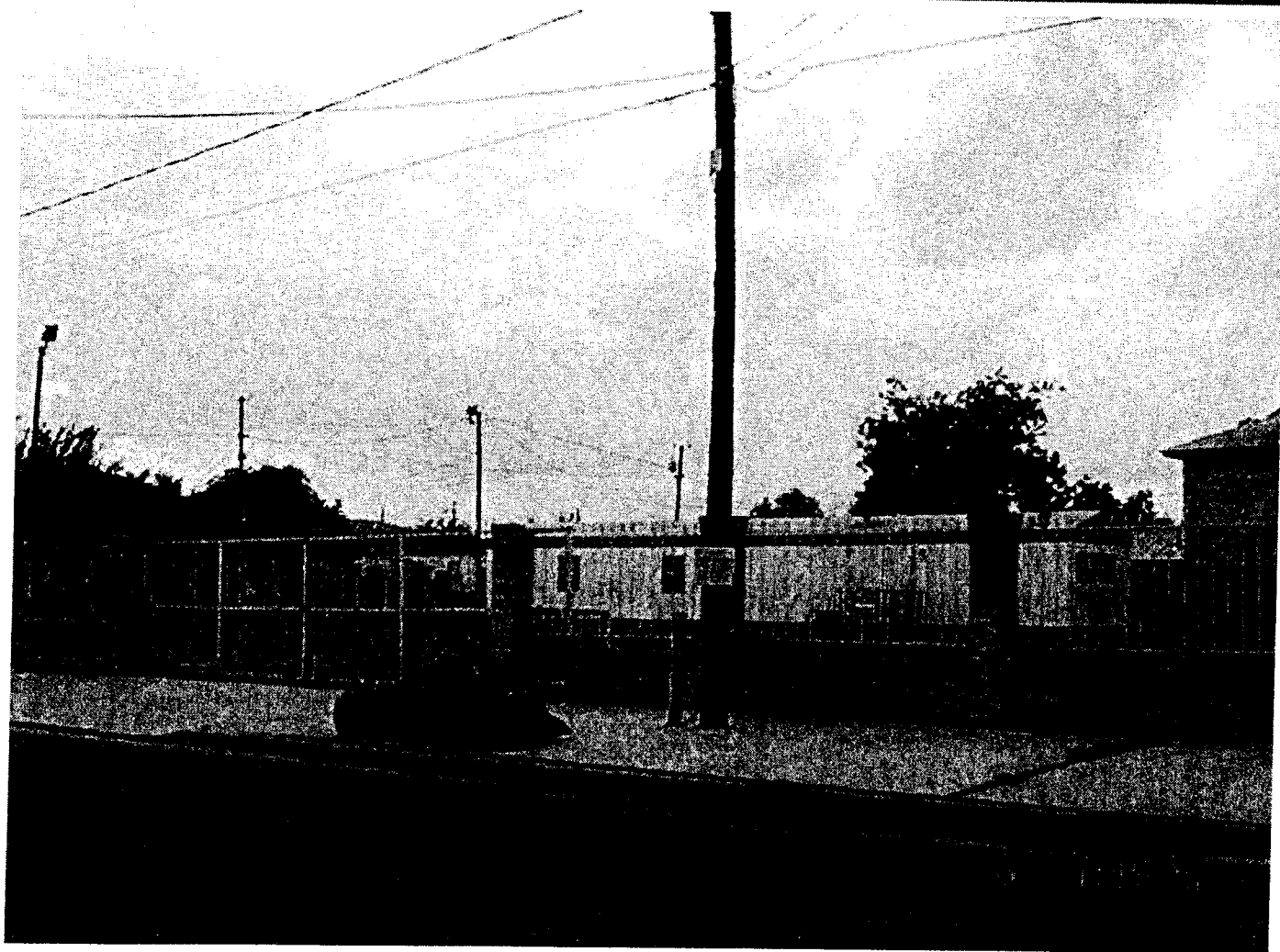
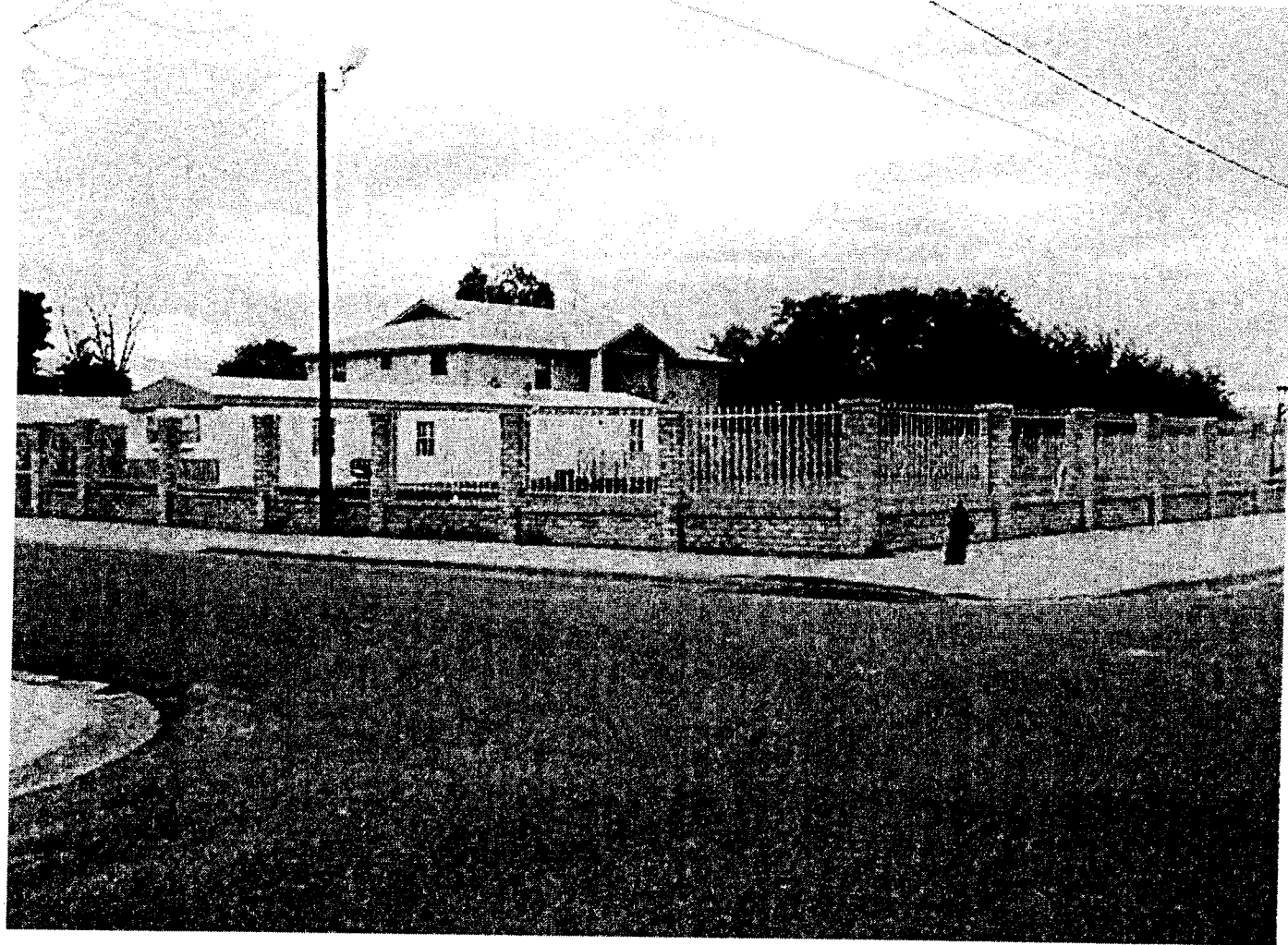


LOT 11 & 12



BLOCK 448ED

1189120 E. SAN CARLOS ST.



ZC-72-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning 2.66 acres, as further described by metes and bounds in attached Exhibit "A", located approximately at the 3900 block of Bob Bullock Loop, from R-3 (Mixed Residential District) to B-4 (Highway Commercial District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. ZC-78-2003	
Initiated by: Juan De La Rosa and Ernesto Valdez		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None.		
BACKGROUND Council District: V – Eliseo Valdez, Jr. Proposed use: Commercial (no specific use given) Site: The site is currently vacant. Surrounding land uses: A golf course lies to the north; several single family manufactured dwelling lie to the south, two single family and one commercial type structures lay to the west, and Loop 20 lays to the east. Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential and Park/Recreational Open Space. Transportation Plan: The Long Range Thoroughfare Plan identifies Bob Bullock Loop as a Major Arterial and a Truck Route. Letters sent to surrounding property owners: 3 In Favor: 0 Opposed: 0		
STAFF COMMENTS The proposed zone change is appropriate at this location. Though technically inconsistent with the Future Land Use Map's Low Density Residential designation, the site's proximity to both the Loop and the surrounding B-3 and B-4 designated areas make it suitable for B-4 designation.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-4 (Highway Commercial District): The purpose of the B-4 District is to provide for those businesses and services serving a regional area which are to be located primarily along principal (major) arterial streets or the freeway, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily along principal arterial streets or the freeway and to impose site development regulations to ensure adequate access of all uses within this classification.

Is this change contrary to the established land use pattern?

No, the surrounding land use pattern is commercial along the loop, although there are a few manufactured dwellings in the vicinity.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the adjoining zoning districts are B-3, B-4, R-3.

Will change adversely influence living conditions in the neighborhood?

The change may adversely affect the few manufactured dwelling in the vicinity.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the existing zoning allows for sufficient uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING 2.66 ACRES, AS FURTHER DESCRIBED BY METES AND BOUNDS IN ATTACHED EXHIBIT "A", LOCATED APPROXIMATELY AT THE 3900 BLOCK OF BOB BULLOCK LOOP, FROM R-3 (MIXED RESIDENTIAL DISTRICT) TO B-4 (HIGHWAY COMMERCIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of 2.66 acres, as further described by metes and bounds in attached Exhibit "A", located approximately at the 3900 block of Bob Bullock Loop, from R-3 (Mixed Residential District) to B-4 (Highway Commercial District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning 2.66 acres, as further described by metes and bounds in attached Exhibit "A", located approximately at the 3900 block of Bob Bullock Loop, from R-3 (Mixed Residential District) to B-4 (Highway Commercial District.).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

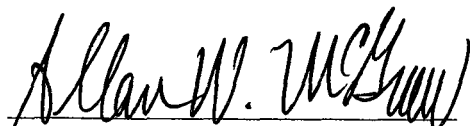
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

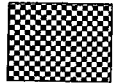
ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: ALLAN W. MCGRAW
ASSISTANT CITY ATTORNEY



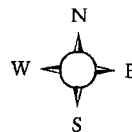
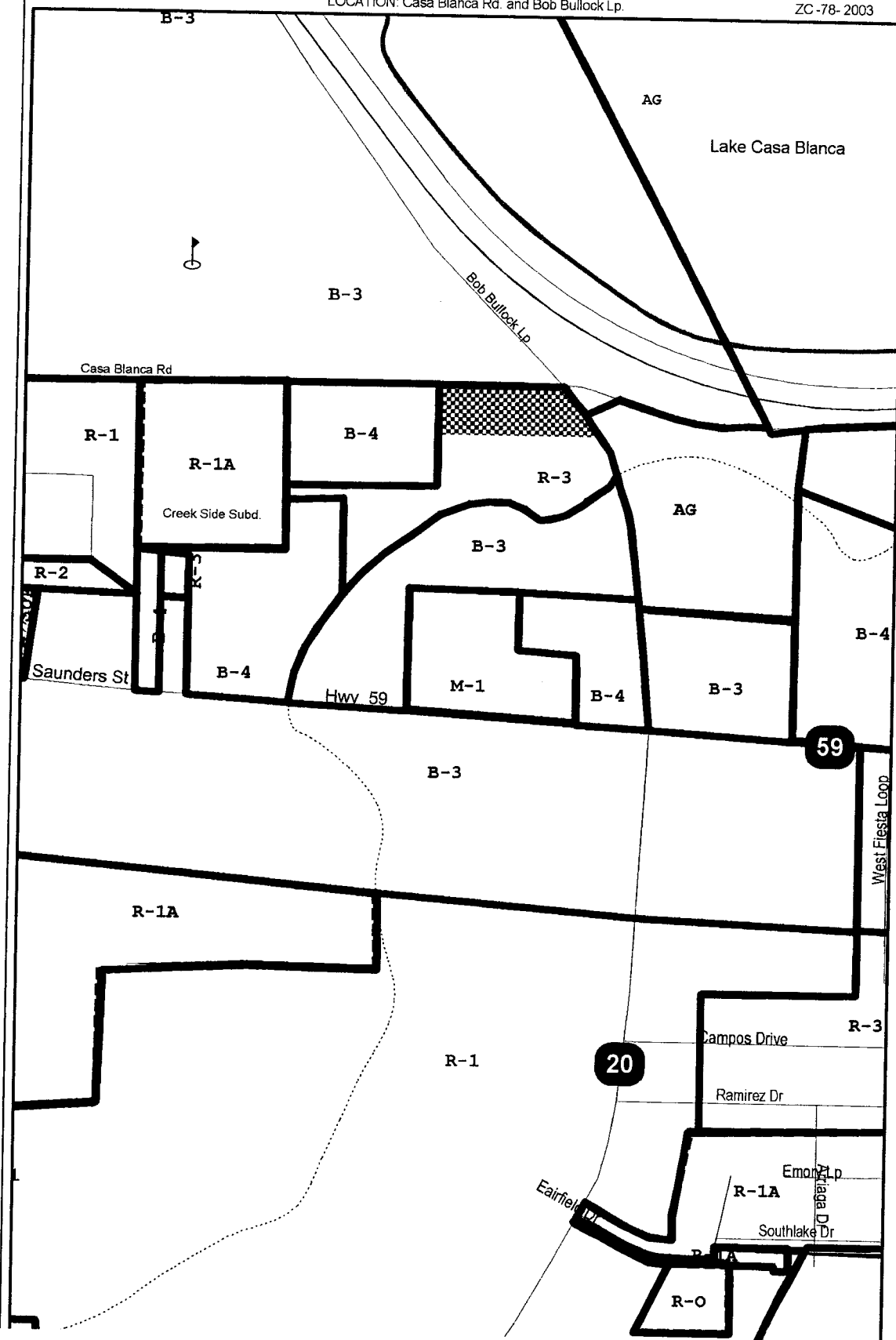
**Rezone from R-3 (Mixed Residential District)
To B-4 (Highway Commercial District)**

LOCATION: Casa Blanca Rd. and Bob Bullock Lp.

ZC-78-2003

City of Laredo
Planning Department
Feet

600



**City of Laredo
Zoning Map**





EXISTING
B-3
CASA BLANCA GOLF COURSE

BOB BULLOCK LOOP
(LOOP 20)

POINT OF BEGINNING
FOR LEGAL DESCRIPTION

CASA BLANCA LAKE RD
(40' R.O.W.)

$\Delta = 2'39'20''$
 $T = 31.25'$
 $R = 1348.27'$
 $L = 62.49'$
 $C = 62.49'$
 $B = S 37'11'20'' E$

S 88°47'35" W
626.16'

N 89°44'19" E ~ 510.82'

N 01°08'12" W
200'

PROPOSED

B-4

2.66 acres
TRACT

GILBERTO VALDEZ
(OWNER)

$\Delta = 7'30'39''$
 $T = 88.51'$
 $R = 1348.39'$
 $L = 176.76'$
 $C = 176.63'$
 $B = S 32'6'21'' E$

EXISTING
B-4

VILLARREAL 3
INVESTMENTS LTD.
6.0 AC.
REC. IN VOL. 1412, PG.
107
WARRANTY DEED
(JUNE 18, 2003)

S 89°44'19" W ~ 638.50'

LEGEND

- 1/2" IRON PIN, FOUND
- 1/2" IRON PIN, SET
- X— FENCE

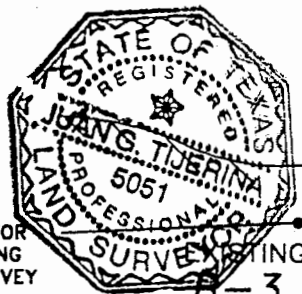
EXISTING
R-3
GILBERTO VALDEZ
(OWNER)

TOP OF NORTH BANK OF CHACON CREEK

CERTIFICATE OF SURVEYOR

STATE OF TEXAS
COUNTY OF WEBB

I, THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR
IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE FOREGOING
PROPERTY DESCRIPTION WAS PREPARED FROM AN ACTUAL SURVEY
MADE ON THE GROUND UNDER MY SUPERVISION.



ROBERT HAYNES TRACT
Vol. 295, Pg. 238-241
(JUNE 22, 1962)

EXISTING
B-3
LOT 1, BLK 1
LAKEWOOD PLAT

JUAN TIJERINA, R. P. L. S. No. 5051

DATE

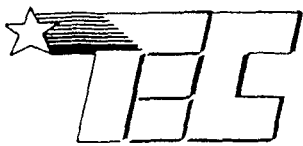
ZONE CHANGE PLAT

2.66 ACRE TRACT OUT OF 27.522 ACRE TRACT
DESCRIBED IN WARRANTY DEED RECORDED IN
VOL. 232, Pg. 20-28 OF WEBB COUNTY DEED
RECORDS, CITY OF LAREDO, WEBB COUNTY TEXAS.



**TEC ENGINEERS &
CONSULTANTS INC.**

801 GUADALUPE ST. SUITE 101 LAREDO, TX. 78040
PH. (956) 791-1220 FAX (956) 753-7087



ENGINEERS & CONSULTANTS INC.

801 GUADALUPE ST. SUITE 101 • LAREDO, TX 78040 • PH. (956) 791-1220 • FAX (956) 753-7687

METES AND BOUNDS DESCRIPTION

2.66 ACRES

PORCION 28, ABSTRACT 241

WEBB COUNTY, TEXAS

Being the northwesterly 2.66 acres of land, more less, out of that certain 27.522-acre tract more fully described in a conveyance from Alberto A. Santos to Gilberto Valdez recorded in Volume 488, Pages 132-135, Deed Records, Webb County, Texas, situated in Porcion 28, Abstract 241, Webb County, Texas, and more particularly described by metes and bounds as follows, to-wit:

Beginning at a ½-inch diameter iron rod found by a fence corner post on the south line of a 40-foot wide public right-of-way, Casa Blanca Lake Road, the occupied south line of Porcion 27 and north line of Porcion 28, for the northeast corner of a 6.0-acre tract conveyed to Villarreal 3 Investments, Ltd. by Warranty Deed recorded in Volume 1412, Page 107, Official Public Records, Webb County, Texas, the most northerly northwest corner of said 27.522-acre tract, and the northwest corner hereof from whence a ½-inch diameter iron rod found by a fence corner post for the northwest corner of said 6.0-acre tract and the northeast corner of CREEKSIDE SUBDIVISION, UNIT I, recorded in Volume 21, Page 51, Plat Records, Webb County, Texas, bears S 88° 47' 35" W, 626.16 feet;

Thence N 89° 44' 19" E, with fence and south line of right-of-way of Casa Blanca Lake Road on the occupied south line of Porcion 27 and north line of Porcion 28, and the north line of said 27.522-acre tract, at 510.82 feet a ½-inch diameter iron rod set on the west line of right-of-way of Bob Bullock Loop (Loop 20), for the northeast corner hereof;

Thence with the west line of right-of-way of Bob Bullock Loop, along a curve right having a radius of 1348.27 feet and subtended by a central angle of 02° 39' 20", at a curve length of 62.49 feet a ½-inch diameter iron rod set for a point of compound curvature;

Thence continuing with the west line of right-of-way of Bob Bullock Loop, along a curve right having a radius of 1348.39 feet and subtended by a central angle of 07° 30' 39", at a curve length of 176.76 feet a ½-inch diameter iron rod set for the southeast corner hereof;

Thence S 89° 44' 19" W, at 638.50 feet a ½-inch diameter iron rod set under fence and east line of the aforementioned 6.0-acre tract for the southwest corner hereof;

Thence N 01° 08' 12" W, with fence and east line of said 6.0-acre tract, at 200.00 feet the **Point of Beginning** and containing 2.66 acres, more or less.

Basis of Bearings

A portion of the east line of right-of-way of Duval Loop, CREEKSIDE SUBDIVISION, UNIT I, recorded in Volume 21, Page 51, Plat Records, Webb County, Texas, and taken as N 01° 08' 12" W.

Certificate of Surveyor

State of Texas:

County of Webb:

I, the undersigned Registered Professional Land Surveyor in the State of Texas, hereby certify that the foregoing Property Description was prepared from an actual survey made on the ground under my supervision.


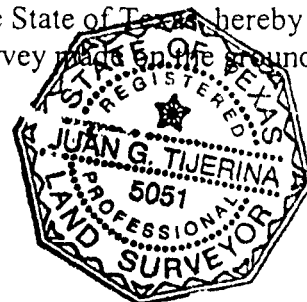
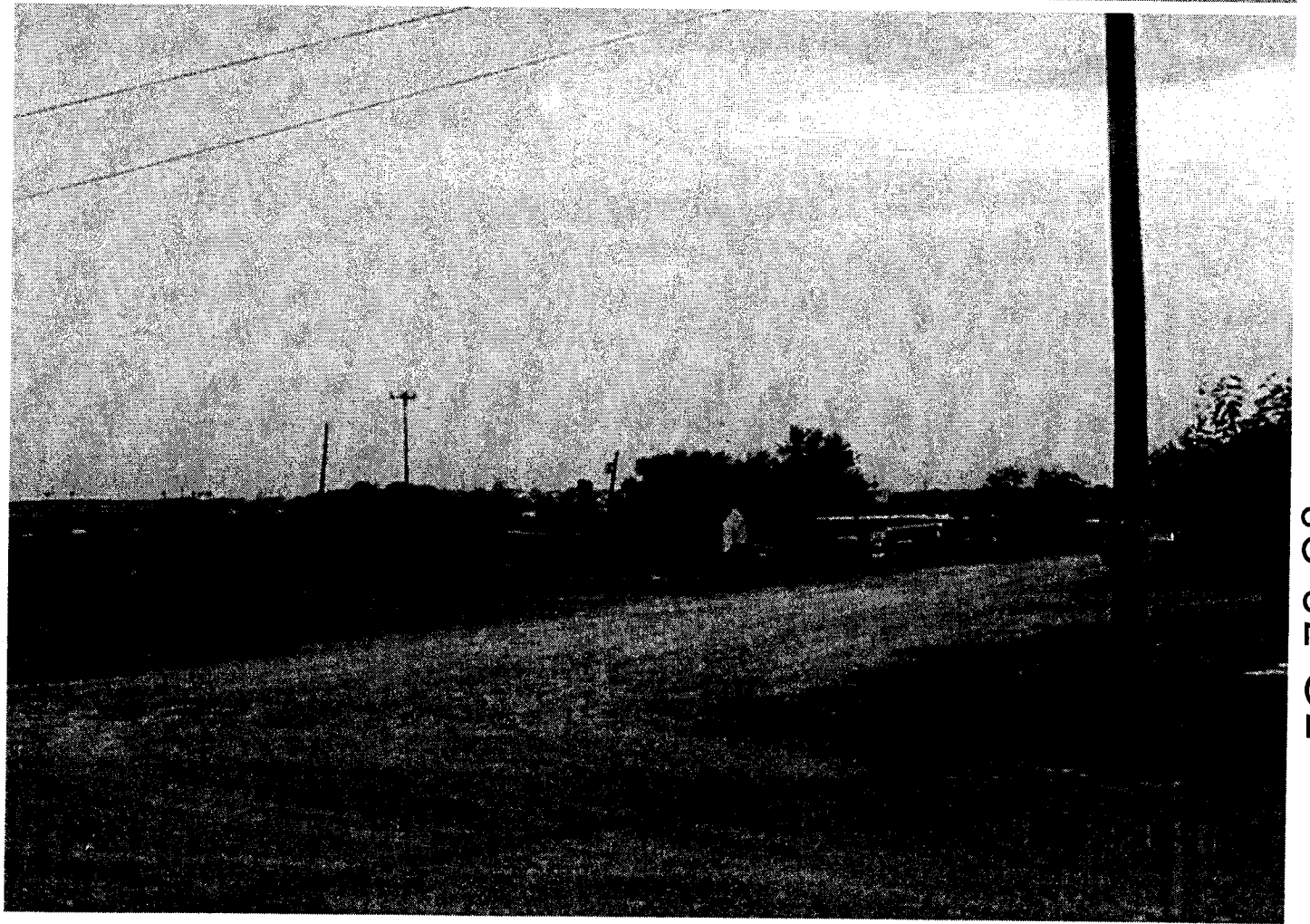
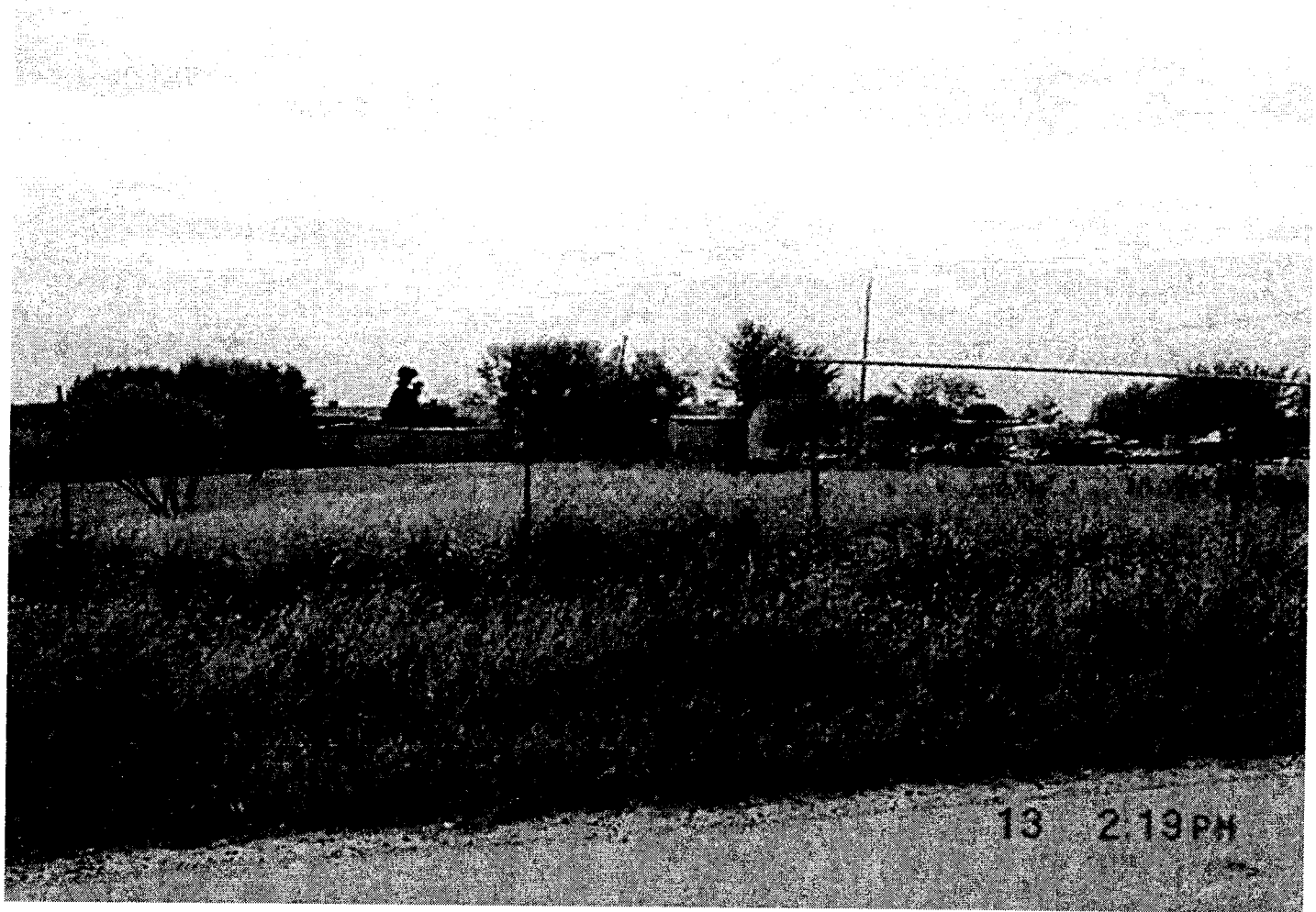
 10/30/03
Juan Tijerina, R.P.L.S. No. 5051 Date

EXHIBIT "A"





ZC-78-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lots 1 and 2, Unit 1, El Rancho Subdivision, located at 4120 Loop 20, from R-3 (Mixed Residential District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. ZC-79-2003	
Initiated by: Roberto and Pascuala Moya		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None.		
BACKGROUND Council District: II - Hector J. Garcia Proposed use: Commercial (No specific use given). Site: The site is occupied by a single family residential structure. Surrounding land uses: Single family site built and manufactured dwelling occupy the area to the north; Halliburton and Proline Semi-trailer Parts are located the west; a single family residence, a heavy equipment mechanic and several large vacant areas lie to the east and south. Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office. Transportation Plan: The Long Range Thoroughfare Plan identifies Loop 20 as a Major Arterial and a Truck Route. Letters sent to surrounding property owners: 16 In Favor: 0 Opposed: 0		
STAFF COMMENTS The proposed zone change is appropriate at this location. The change is consistent with the Comprehensive Plan, the surrounding zoning districts and the commercial land use pattern, especially along Loop 20.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-3 (Community Business District): The purpose of the B-3 District is to provide for those businesses and services serving a trade area larger than a neighborhood, but smaller than the entire city and located primarily along minor or principal arterial streets, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily abutting minor or principal arterial streets while preserving established residential neighborhoods along such streets.

Is this change contrary to the established land use pattern?

The established land use pattern is primarily residential and commercial.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the adjoining zoning districts are B-3, B-1 and R-3.

Will change adversely influence living conditions in the neighborhood?

Although the site is currently located within an area currently devoted to residential uses, the area has already evidenced a trend towards commercial zoning especially along the Loop.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the current zoning allows for sufficient uses that are compatible with the immediate surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOTS 1 AND 2, UNIT 1, EL RANCHO SUBDIVISION, LOCATED AT 4120 LOOP 20, FROM R-3 (MIXED RESIDENTIAL DISTRICT) TO B-3 (COMMUNITY BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of Lots 1 and 2, Unit 1, El Rancho Subdivision, located at 4120 Loop 20, from R-3 (Mixed Residential District) to B-3 (Community Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning Lots 1 and 2, Unit 1, El Rancho Subdivision, located at 4120 Loop 20, from R-3 (Mixed Residential District) to B-3 (Community Business District.).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

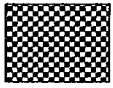
ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: ALLAN W. MCGRAW
ASSISTANT CITY ATTORNEY



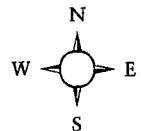
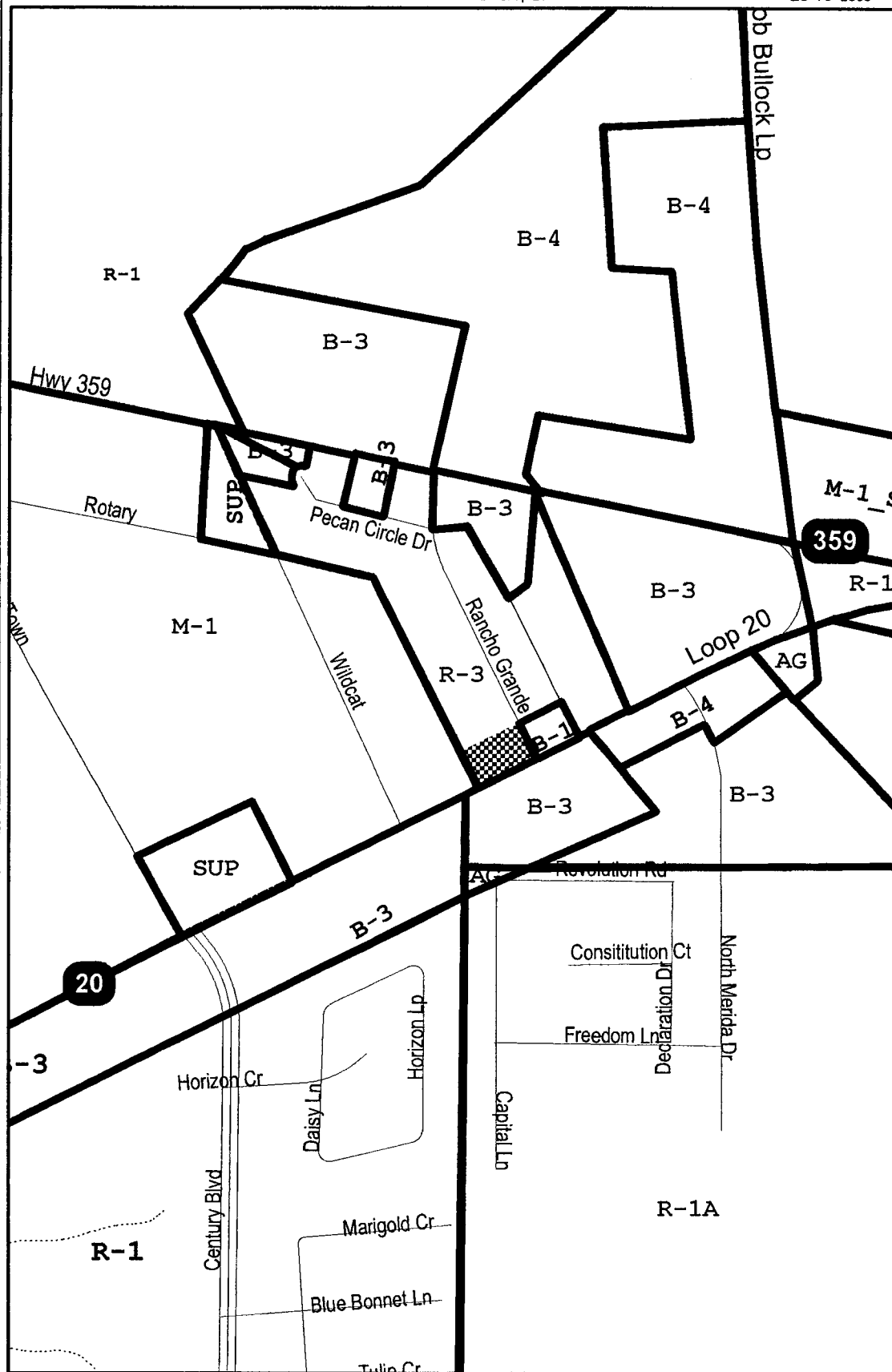
**Rezone from R-3 (Mixed Residential District)
To B-3 (Community Business District)**

LOCATION: 4120 Loop 20

ZC-79-2003

City of Laredo
Planning Department
Feet

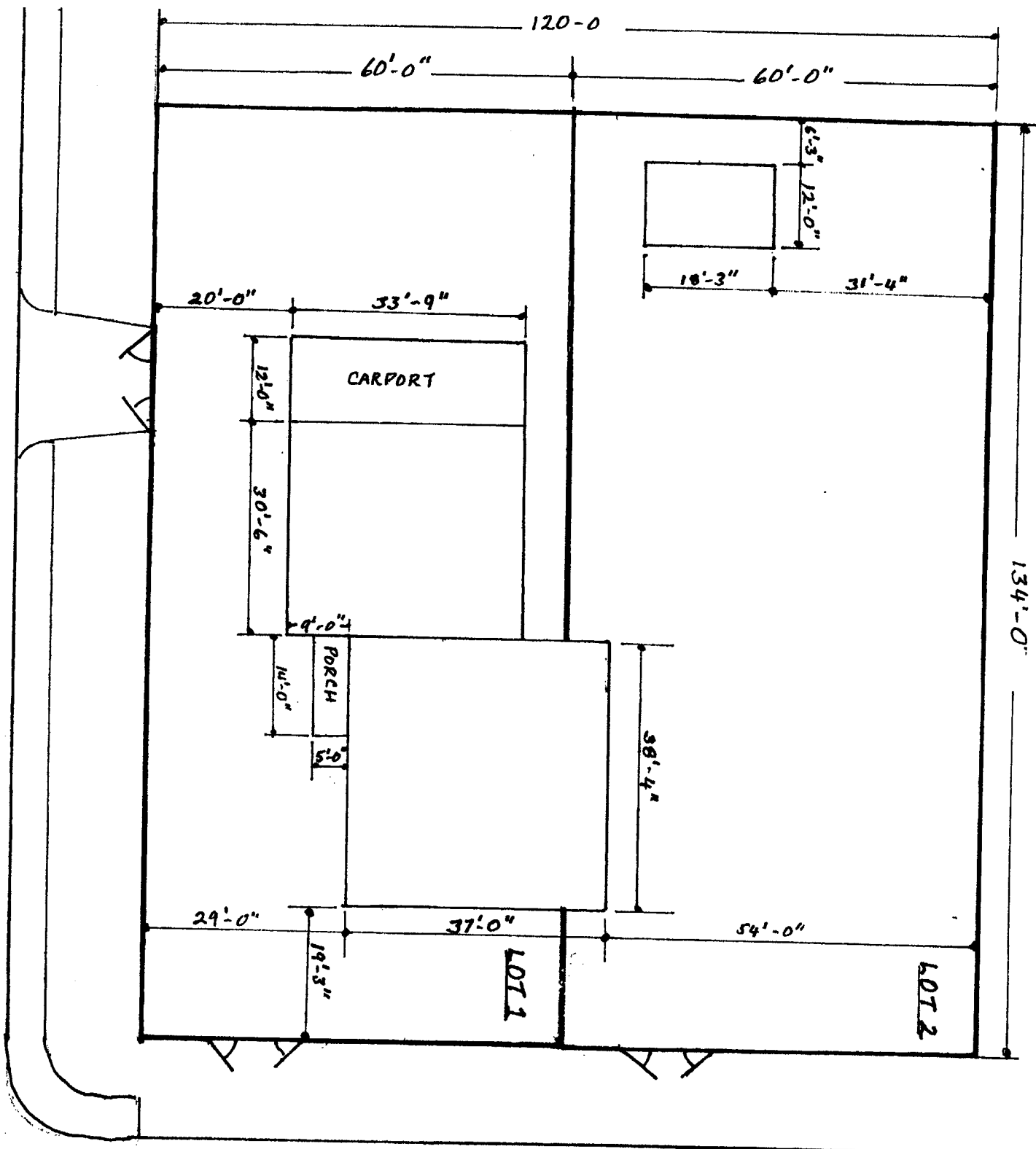
500



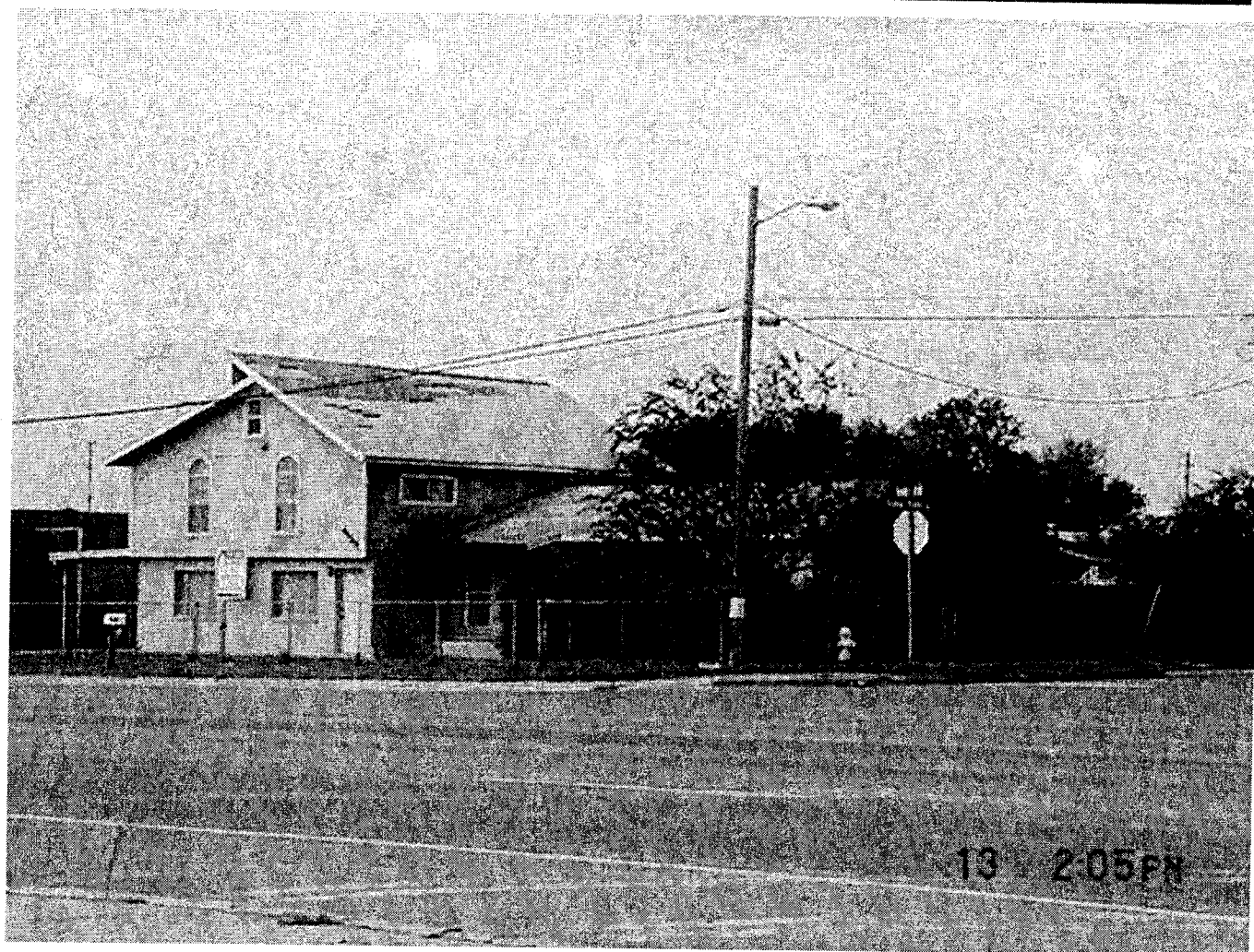
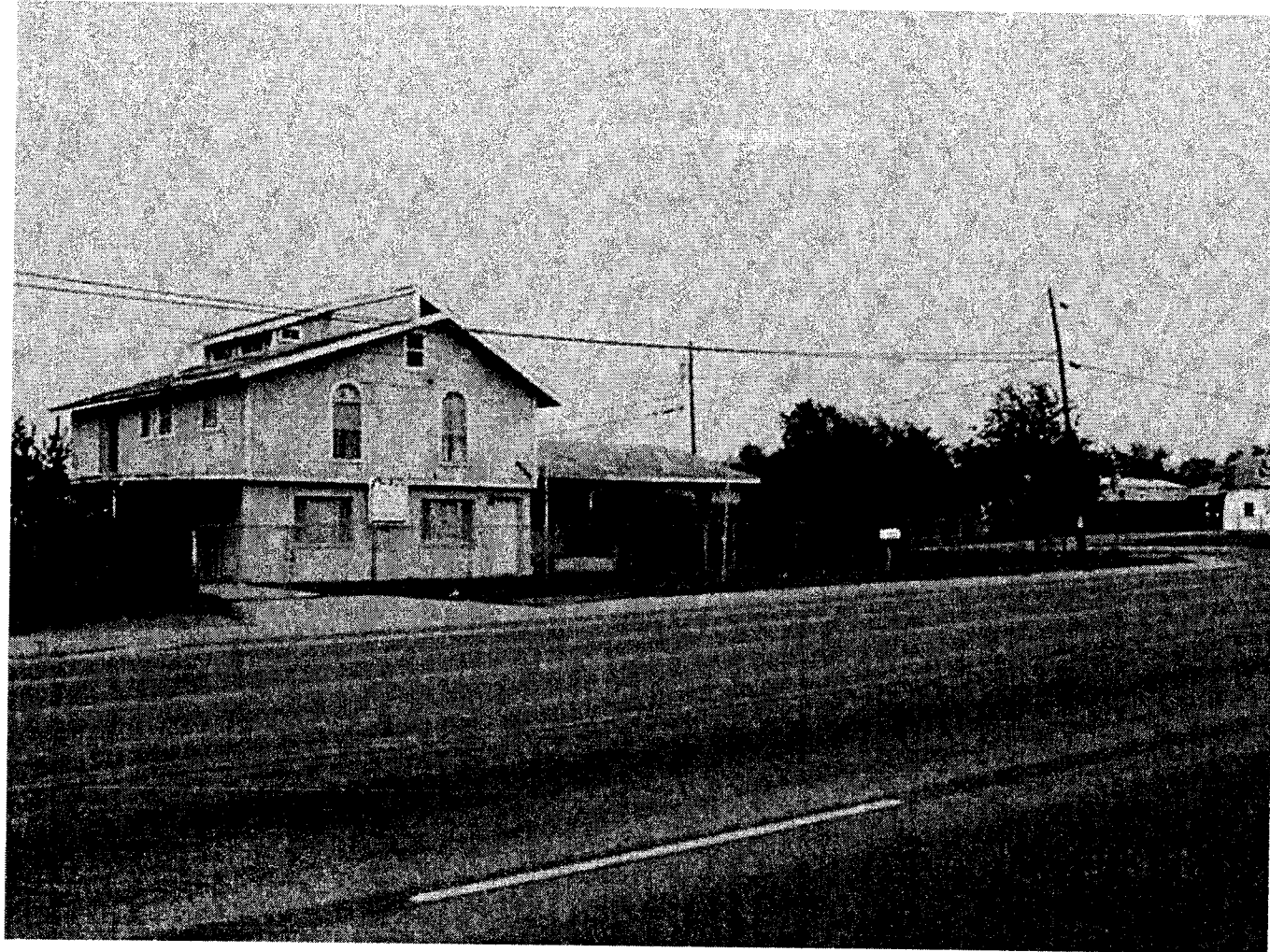
**City of Laredo
Zoning Map**



STATE HIGHWAY LOOP 20



RANCHO GRANDE DRIVE
ZONING Change
Site plan



ZC-79-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Authorizing the amendment of a Special Use Permit for a mini-storage warehouse, on Lot 1, Block 1, Lago Del Mar Subdivision, Unit 11, located at 7611 Bartlett Ave; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Special Use Permit. ZC-80-2003
Initiated by: Alice Brittingham Werstak	Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: An S.U.P. for a mini-storage warehouse was issued by City Council on 7/3/00 and subsequently amended on 05/07/01.	
BACKGROUND <p>Council District: V – Eliseo Valdez, Jr.</p> <p>Proposed use: Revision of the mini-storage facility's site plan.</p> <p>Site: The site is currently occupied by the mini-storage facility. The site is zoned B-3 (Community Business District) with a Special Use Permit for mini-storage warehousing.</p> <p>Surrounding land uses: East, south, and west of the site is vacant. North along Del Mar Blvd. is a restaurant, a convenience store, and a Post Office. North of Del Mar Blvd. are single family residences.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Medium Density Residential.</p> <p>Transportation Plan: The Long Range Thoroughfare Plan identifies Del Mar Blvd. as a Modified Major Arterial and Bartlett Ave. as a Major Collector.</p> <p>Letters sent to surrounding property owners: 11 In Favor: 0 Opposed: 0</p>	
STAFF COMMENTS <p>The applicant is amending the S.U.P. to revise the site plan such that it reflect Building L as proposed rather than the three buildings originally to be located at the southwest corner of the lot.</p> <p>Staff supports the proposed S.U.P. amendment and recommends the originally imposed conditions remain as follows:</p> <ol style="list-style-type: none"> 1. Specify low lighting attached to units and directed towards the ground. 2. A contour map and drainage plan which shall be submitted to the City Engineer for his review and approval. 3. Fire hydrant locations, fire preventative measures, and maneuvering space for fire trucks shall be submitted to the Laredo Fire Department for approval. <p style="text-align: right;">(Continued on the next page)</p>	
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended approval of the Special Use Permit.	STAFF RECOMMENDATION: Staff <u>supports</u> the Special Use Permit amendment.

COUNCIL COMMUNICATION

4. Plans and specifications for any water and sewer facilities shall be submitted to the Laredo Water Works System for approval.
5. The facility shall be located no less than 350 feet away from a Major Arterial as identified in the Transportation element of the Comprehensive Plan.
6. No less than 5% of the total area of the proposed tract for development shall be reserved for landscape purposes in addition to those provisions established in Section 24-83, "Trees and Shrubs," of the Laredo Land Development Code.
7. Fencing and/or walling shall comply with the provisions established in Section 24-79, "Fencing and Screening," of the Laredo Land Development Code. In the event additional fencing or walling is proposed, no less than 25% and no more than 70% shall be opaque.
8. Dumpsters, trash bins, or locations for refuse collection shall not be permitted.
9. Flammable, combustibles, corrosives, and toxins, nuclear waste, hazardous waste water, or any material requiring placards for transport shall not be permitted. No permits for storage of any like materials issued by the Laredo Fire Department shall supersede this provisions
10. The permit is issued to Alice Brittingham Werstak.

A Special Use Permit is used for those types used that warrant individual attention on a case by case basis and should not be categorized in to a specific zoning district. A Special Use Permit is basically an overlay on top of the existing zoning designation and can be limited in many respects such as time, fencing, setbacks, landscaping, etc.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING THE AMENDMENT OF THE SPECIAL USE PERMIT FOR A MINI-STORAGE WAREHOUSE ON LOT 1, BLOCK 1, LAGO DEL MAR SUBDIVISION, UNIT II, LOCATED AT 7611 BARTLETT AVE.; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the owner of Lot 1, Block 1, Lago Del Mar Subdivision, Unit II, located at 7611 Bartlett Ave., has requested amendment of the Special Use Permit for a mini-storage warehouse; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the Planning and Zoning Commission on this matter; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the Special Use Permit amendment; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004 on the request and finds the proposed Special Use Permit for the area is appropriate and consistent with the General Plan of the City of Laredo.

WHEREAS, all conditions imposed by the Special Use Permit, and all pertinent requirements the Laredo Land Development Code shall be met before the activity sanctioned by the Special Use Permit may commence.

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended to authorize the amendment of the Special Use Permit for the use of a mini-storage warehouse on Lot 1, Block 1, Lago Del Mar Subdivision, Unit II, located at 7611 Bartlett Ave.

Section 2: The Special Use Permit is restricted to the site plan, Exhibit "A", which is made a part hereof for all purposes.

Section 3: The Special Use Permit is further restricted to the following provisions herewith adopted by the City Council:

1. Specify low lighting attached to units and directed towards the ground.
2. A contour map and drainage plan which shall be submitted to the City Engineer for his review and approval.
3. Fire hydrant locations, fire preventative measures, and maneuvering space for fire trucks shall be submitted to the Laredo Fire Department for approval.
4. Plans and specifications for any water and sewer facilities shall be submitted to the Laredo Water Works System for approval.
5. The facility shall be located no less than 350 feet away from a Major Arterial as identified in the Transportation element of the Comprehensive Plan.
6. No less than 5% of the total area of the proposed tract for development shall be reserved for landscape purposes in addition to those provisions established in Section 24-83, "Trees and Shrubs," of the Laredo Land Development Code.
7. Fencing and/or walling shall comply with the provisions established in Section 24-79, "Fencing and Screening," of the Laredo Land Development Code. In the event additional fencing or walling is proposed, no less than 25% and no more than 70% shall be opaque.
8. Dumpsters, trash bins, or locations for refuse collection shall not be permitted.
9. Flammable, combustibles, corrosives, and toxins, nuclear waste, hazardous waste water, or any material requiring placards for transport shall not be permitted. No permits for storage of any like materials issued by the Laredo Fire Department shall supersede these provisions
10. The permit is issued to Alice Brittingham Werstak.

Section 4: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 5: This ordinance shall become effective as and from the date of publication specified in Section 4.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

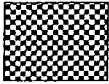
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ~~ANTHONY C. MCGETTRICK~~ 
ASSISTANT CITY ATTORNEY



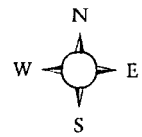
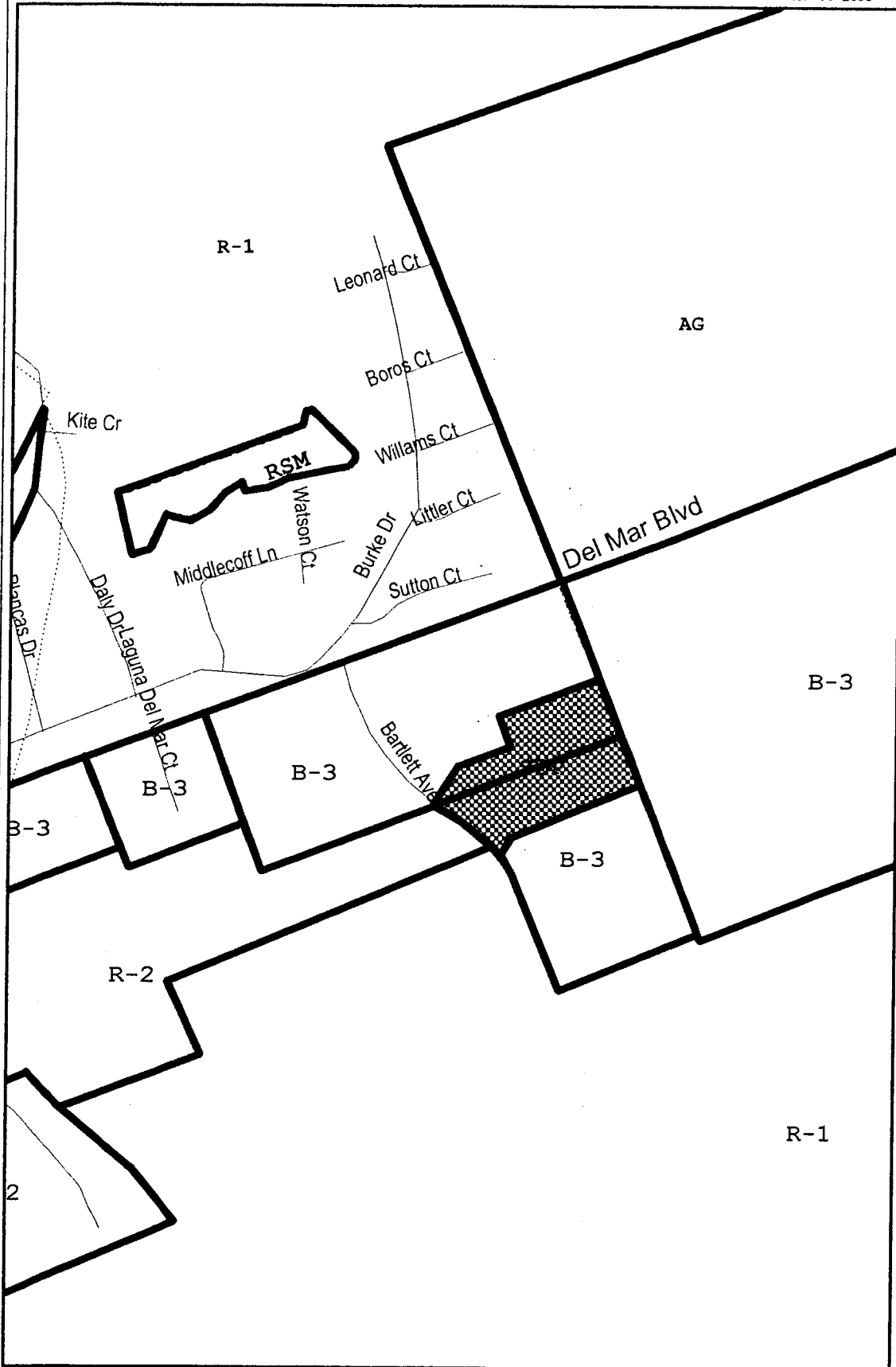
**Request for a amendment to an
S.U.P. (Special Use Permit)**

LOCATION: 7611 Bartlett Ave

ZC-80-2003

City of Laredo
Planning Department
Feet

500



**City of Laredo
Zoning Map**



Proposed

DEL. MAR BOULEVARD
(100' ROW, ~ 42' E/E)

LACO DFL MAR
UNIT 1
(Recorded Volume 18, Pages 3.)

UNPLATED
LAGO DEL MAR LTD.
(Recorded Volume 729, Pages 887.)
O B 2 W C T

AMCCO STATION LEASE

MATCH LINE

LACO DEL MAR
UNIT 7, REPLAT
(Recorded Volume 20, Pages 32, W.C.P.R.)
May 24, 2000
LOT 1C

LOT 1C

BUILDING 'B' 1,200 SQ. FT.

BUILDING 'A' 15,550 SQ. FT.

BUILDING 'L' 29,375 SQ. FT.

BUILDING 'C' 6,630 SQ. FT.

BUILDING 'D' 8,130 SQ. FT.

BUILDING 'E' 5,600 SQ. FT.

BUILDING 'F' 8,400 SQ. FT

BUILDING 'G' 7,000 SQ. FT.

BUILDING 'H' 5,600 SQ. FT

BUILDING 3, 2,000 SQ. FT.

BUILDING A 6,100 SQ. FT.

UNIT 13
B.476 Acres

SCALE BAR

UNIT 14
5 966 Acres

EXHIBIT "A"

LAGO DEL MAR MINI STORAGE UNITS
SITE PLAN AND LANDSCAPE PLAN

CITY OF LAREDO
WEBB COUNTY, TEXAS

HOWLAND
ENGINEERING & SURVEYING COMPANY

7615 N BARTLETT AVENUE
LAREDO, TEXAS 78041
OFFICE. (956) 722-4411
FAX (956) 722-5414

E-Mail: Howard@Netscorp.net

DRYING BY	RVC
CHECKED BY	BFS
MISC JOB NO	
FILENAME	
DATE	JAN02 DEL MAR / STEAD
REVISED DATE	FEBRUARY 05 2010
24.26 SCALE	OCTOBER 28, 200
WDR:	"=30"
VR:	N/A

SHEET: 1 OF 1

DEL MAR BOULEVARD
(100' R.O.W. ~ 42' E/E)



LAGO DEL MAR
UNIT 1
(Recorded Volume 18, Pages 3.)
W.C.P.R.
May 13, 1998

UNPLATTED
LAGO DEL MAR LTD.
(Recorded Volume 229, Pages 887.)
O.P.R.W.C.T.
July 1, 1994
AMCCO STATION LEASE

LAGO DEL MAR
UNIT 7, REPLAT
(Recorded Volume 20, Pages 32, W.C.P.R.)
May 24, 2000
LOT 1C

MATCH LINE

BUILDING 'A' 15,550 SQ. FT.

BUILDING 'B' 1,200 SQ. FT.

BUILDING 'C' 6,630 SQ. FT.

BUILDING 'D' 8,130 SQ. FT.

BUILDING 'E' 5,600 SQ. FT.

BUILDING 'F' 8,400 SQ. FT.

BUILDING 'G' 7,000 SQ. FT.

BUILDING 'H' 5,600 SQ. FT.

BUILDING 'J' 5,600 SQ. FT.

BUILDING 'K' 8,100 SQ. FT.

PHASE 2 = 14,525 SQ. FT.

PHASE 2 = 3,250 SQ. FT.

PHASE 2 = 2,850 SQ. FT.

UNIT 13
8,476 Acres

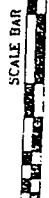


EXHIBIT A

UNIT 14
5,966 Acres

BARTLETT AVE.
(80' R.O.W. ~ 49' B/B)

CONCRETE PAVING

CONCRETE PAVING

CONCRETE PAVING

CONCRETE PAVING

CONCRETE PAVING

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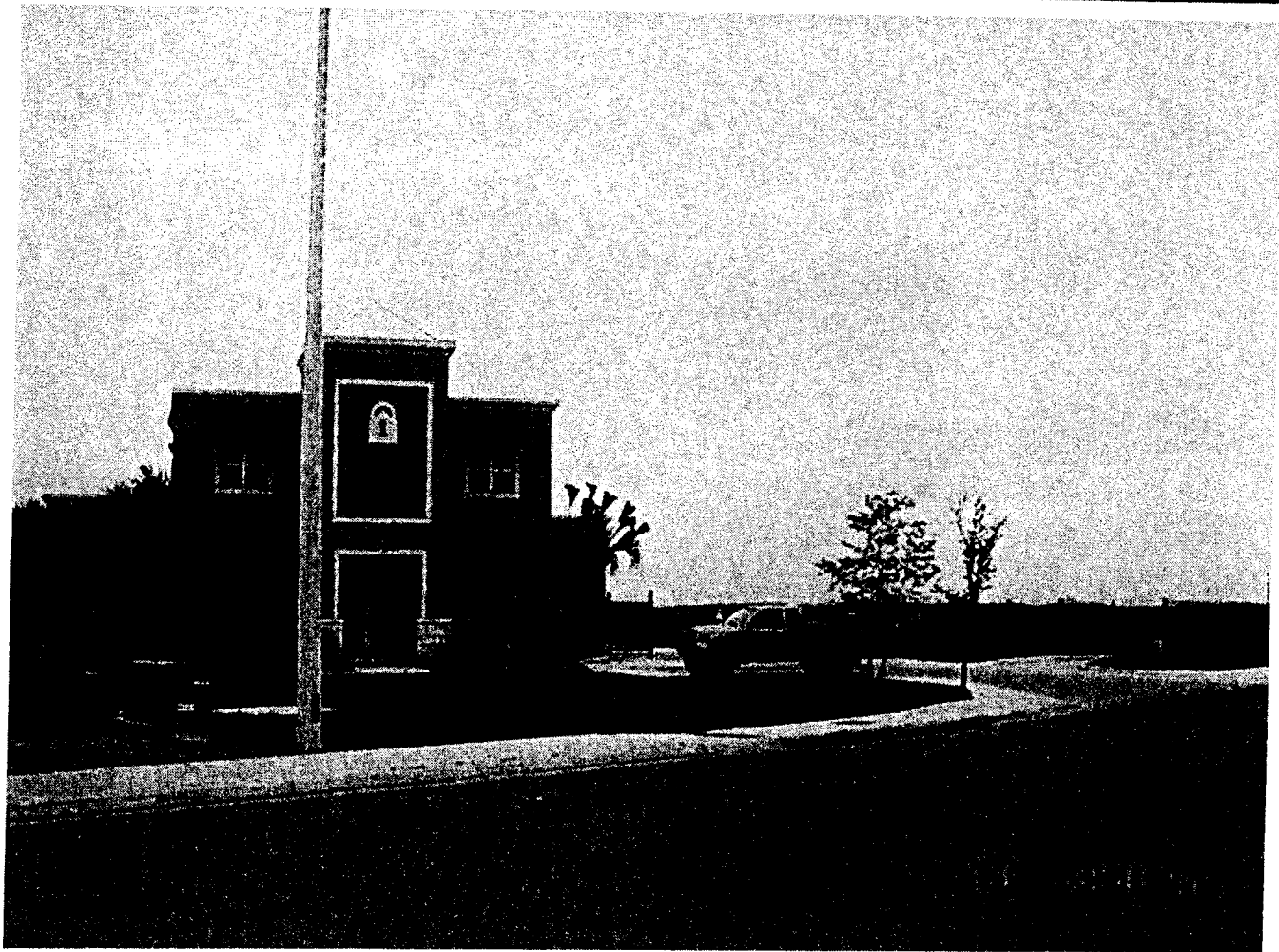
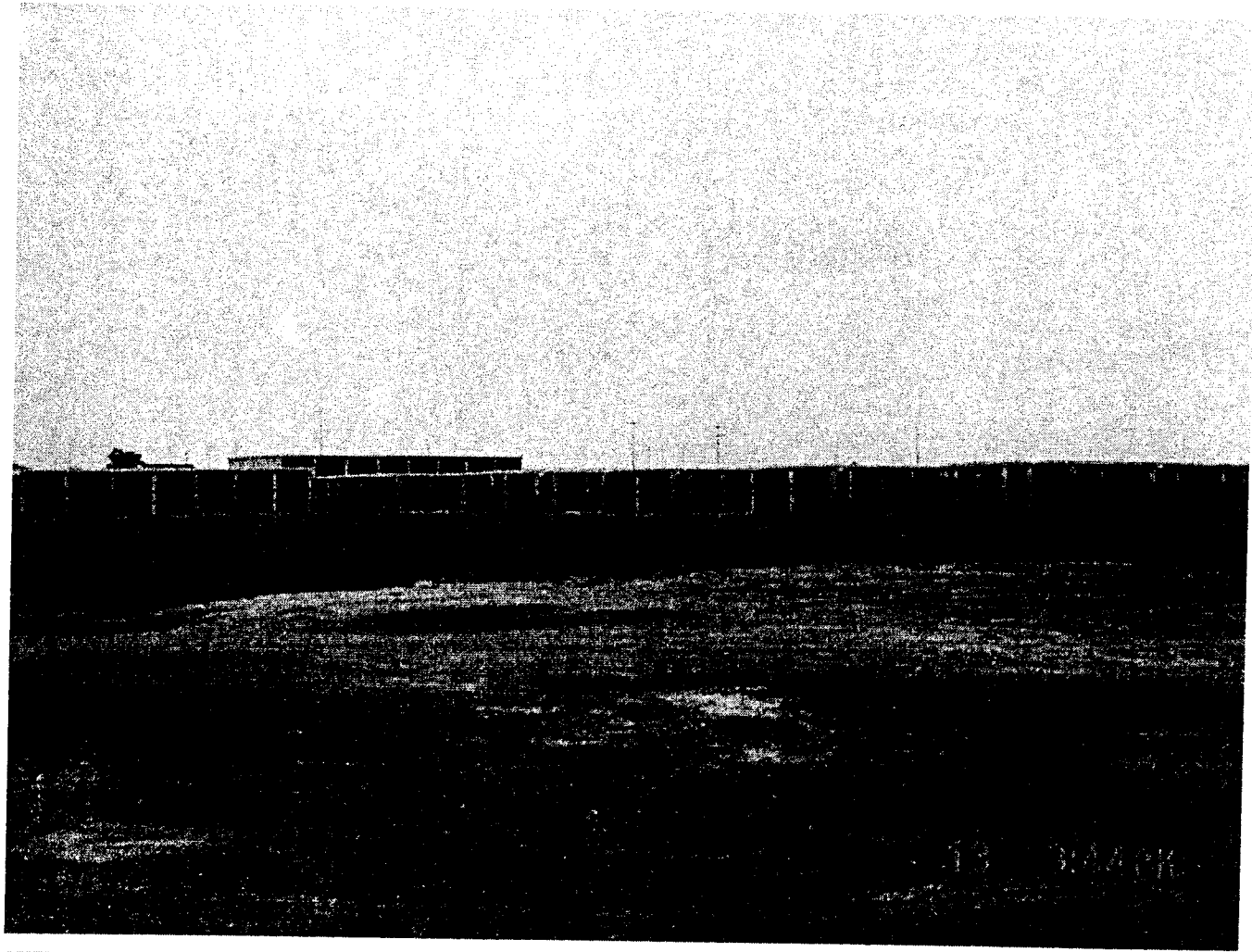
CONCRETE PAVING

CONCRETE PAVING

CONCRETE PAVING

CONCRETE PAVING

CONCRETE PAVING



ZC-80-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 4, Block 236, Western Division, located at 1309 San Dario Ave., from B-1 (Limited Commercial District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed zone change. ZC-85-2003	
Initiated by: Alberto Garcia		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None.		
BACKGROUND <p>Council District: VIII - Juan Ramirez</p> <p>Proposed use: Commercial (a nationalization of vehicles business)</p> <p>Site: The site is currently occupied by a small office and an unpaved parking area.</p> <p>Surrounding land uses: The land south and southeast of the site is devoted to light commercial and residential type uses including the Laredo Import Company, the Back Porch Postal Center, a Texaco gas station, El Taco Rico, Castellano's used cars, an auto trim shop, the Laredo Boys Club, and a few single family residences. West of the site is I.H. 35. IBC parking, Miriam's Grocery, an auto trim shop and several single and multifamily residences lie to the east while Jamalk Used Cars, Ronald Ramos Law Office, Louis LaVaude, a billiards supply business, and several more single family residences lie to the north of the site.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office.</p> <p>Transportation Plan: San Dario is identified by the Long Range Thoroughfare Plan as a Freeway and a Truck Route.</p> <p>Letters sent to surrounding property owners: 18 In Favor: 1 Opposed: 0</p>		
STAFF COMMENTS <p>The proposed zone change is inappropriate at this location. Though technically congruous with the Future Land Use Map's commercial designation of this area, the change is inconsistent with the established primarily residential/office/retail land use pattern. The proposed change is also inconsistent with the surrounding zoning districts, which are almost uniformly B-1 west of San Dario Ave. Finally, the existing zoning is superior to the proposed designation as it compliments and supports the existing zoning boundaries and transitional zoning clearly evident in the area.</p>		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended denial of the zone change.		STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-3 (Community Business District): The purpose of the B-3 District is to provide for those businesses and services serving a trade area larger than a neighborhood, but smaller than the entire city and located primarily along minor or principal arterial streets, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily abutting minor or principal arterial streets while preserving established residential neighborhoods along such streets.

Is this change contrary to the established land use pattern?

Yes, the surrounding land use pattern is primarily residential/office/retail.

Would this change create an isolated zoning district unrelated to surrounding districts?

Yes, the site is surrounded by B-1 zoned districts with the exception of the Freeway to the west.

Will change adversely influence living conditions in the neighborhood?

The area would be better served by any of the less intensive uses permitted by the existing B-1 designation.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the existing zoning allows for sufficient uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOT 4, BLOCK 236, WESTERN DIVISION, LOCATED AT 1309 SAN DARIO AVE., FROM B-1 (LIMITED COMMERCIAL DISTRICT) TO B-3 (COMMUNITY BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of Lot 4, Block 236, Western Division, located at 1309 San Dario Ave., from B-1 (Limited Commercial District) to B-3 (Community Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning Lot 4, Block 236, Western Division, located at 1309 San Dario Ave., from B-1 (Limited Commercial District) to B-3 (Community Business District.).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

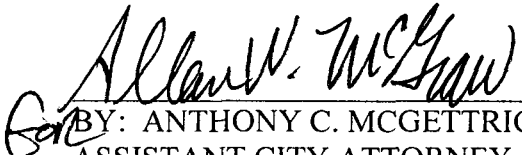
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

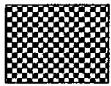
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



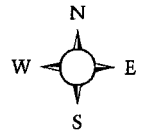
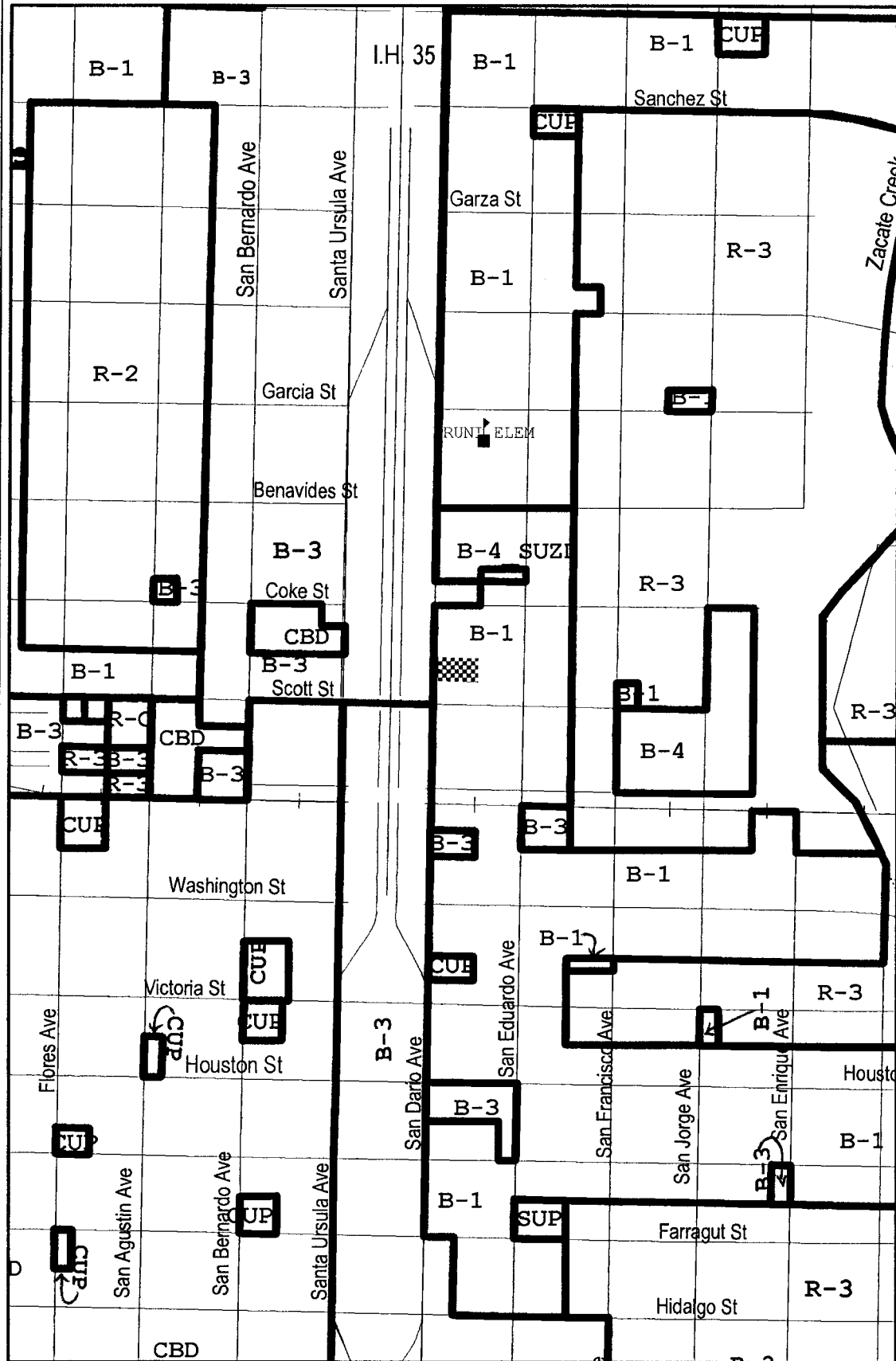
**Rezone from B-1 (Limited Business District)
To B-3 (Community Business District)**

LOCATION: 1309 San Dario Ave

ZC-85-2003

City of Laredo
Planning Department
Feet

500



**City of Laredo
Zoning Map**



STA: URSULA

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

SCOTT

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

COKE

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

SAN DARIO

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

SCOTT

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

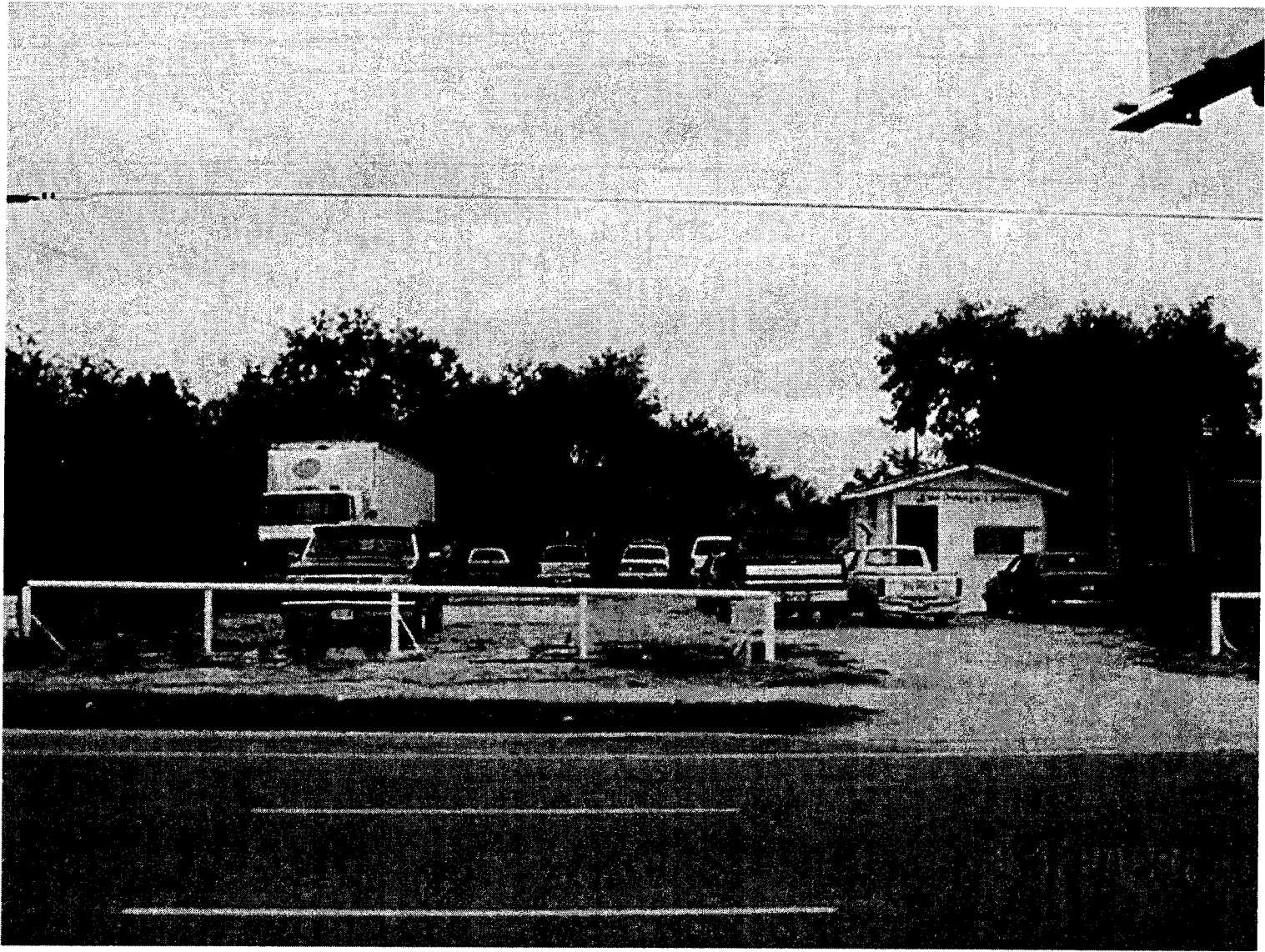
SAN EDUARDO

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

SAN FRANCISCO

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		

8	7	5	3	1A	1B
6	5	3	3		
4	6	2	1		
2	1	1	1		



ZC-85-03

)

)

)

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 8 and the west 22.56 feet of Lot 7, Block 1692, Eastern Division, located at 2401 Arkansas Ave., from R-3 (Mixed Residential District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. ZC-86b-2003	
Initiated by: Victor and Maria De Anda		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: On 2/20/03, in a 5-4 vote, the Commission recommended approval of the identical zone change request, which Council subsequently denied on 3/24/03.		
BACKGROUND Council District: II - Hector J. Garcia Proposed use: Commercial (a used car lot). Site: The site is currently occupied by the applicant's used car lot. Surrounding land uses: Other than the creek, a used car lot , TV. repair shop, and two used car dealerships to the north, the site is completely surrounded by both single and multifamily residential uses. Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential. Transportation Plan The Long Range Thoroughfare Plan identifies Arkansas as a Minor Arterial and a Truck Route. Letters sent to surrounding property owners: 28 In Favor: 0 Opposed: 0		
STAFF COMMENTS The proposed zone change is inappropriate at this location. Though a cursory review of the zoning map might suggest compatibility of this site and the existing large swath of B-3 zoned area directly to the north, the proposed change is inconsistent with the Comprehensive Plan's Low Density Residential designation and the immediate area's established residential land use pattern. To date, this area's zoning and land use boundaries reflect little or no intrusion of incongruous zoning or uses.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 6 to 2 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-3 (Community Business District): The purpose of the B-3 District is to provide for those businesses and services serving a trade area larger than a neighborhood, but smaller than the entire city and located primarily along minor or principal arterial streets, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily abutting minor or principal arterial streets while preserving established residential neighborhoods along such streets.

Is this change contrary to the established land use pattern?

Yes, the established land use pattern below the creek is primarily residential.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the adjoining zoning districts are R-1, B-3, and R-3.

Will change adversely influence living conditions in the neighborhood?

Yes. Although there are many commercial uses on Arkansas, this site happens to be located within an area primarily devoted to residential uses.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the existing zoning district allows for sufficient uses that are more compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOT 8 AND THE WEST 22.56 FEET OF LOT 7, BLOCK 1692, EASTERN DIVISION, LOCATED AT 2401 ARKANSAS AVE., FROM R-3 (MIXED RESIDENTIAL DISTRICT) TO B-3 (COMMUNITY BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of Lot 8 and the west 22.56 feet of Lot 7, Block 1692, Eastern Division, located at 2401 Arkansas Ave., from R-3 (Mixed Residential District) to B-3 (Community Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 4, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning Lot 8 and the west 22.56 feet of Lot 7, Block 1692, Eastern Division, located at 2401 Arkansas Ave., from R-3 (Mixed Residential District) to B-3 (Community Business District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

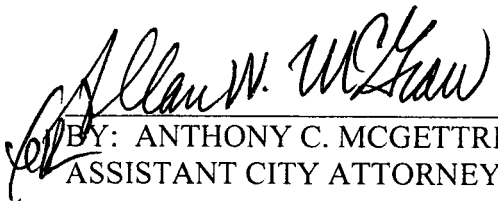
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

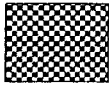
ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



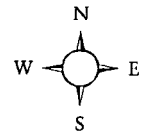
**Rezone from R-3 (Mixed Residential District)
To B-3 (Community Business District)**

LOCATION: 2401 Arkansas Ave

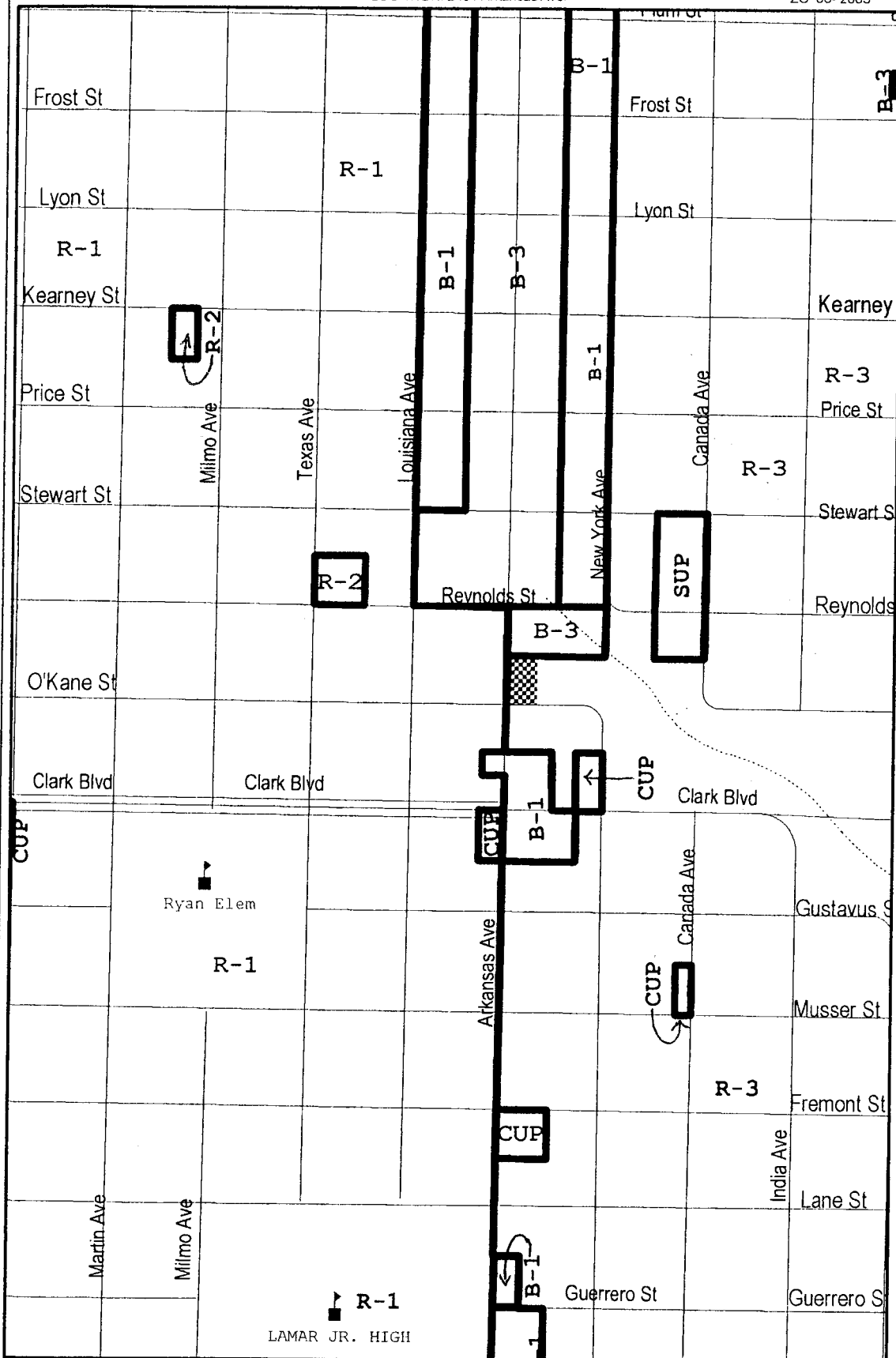
ZC -86- 2003

City of Laredo
Planning Department
Feet

500

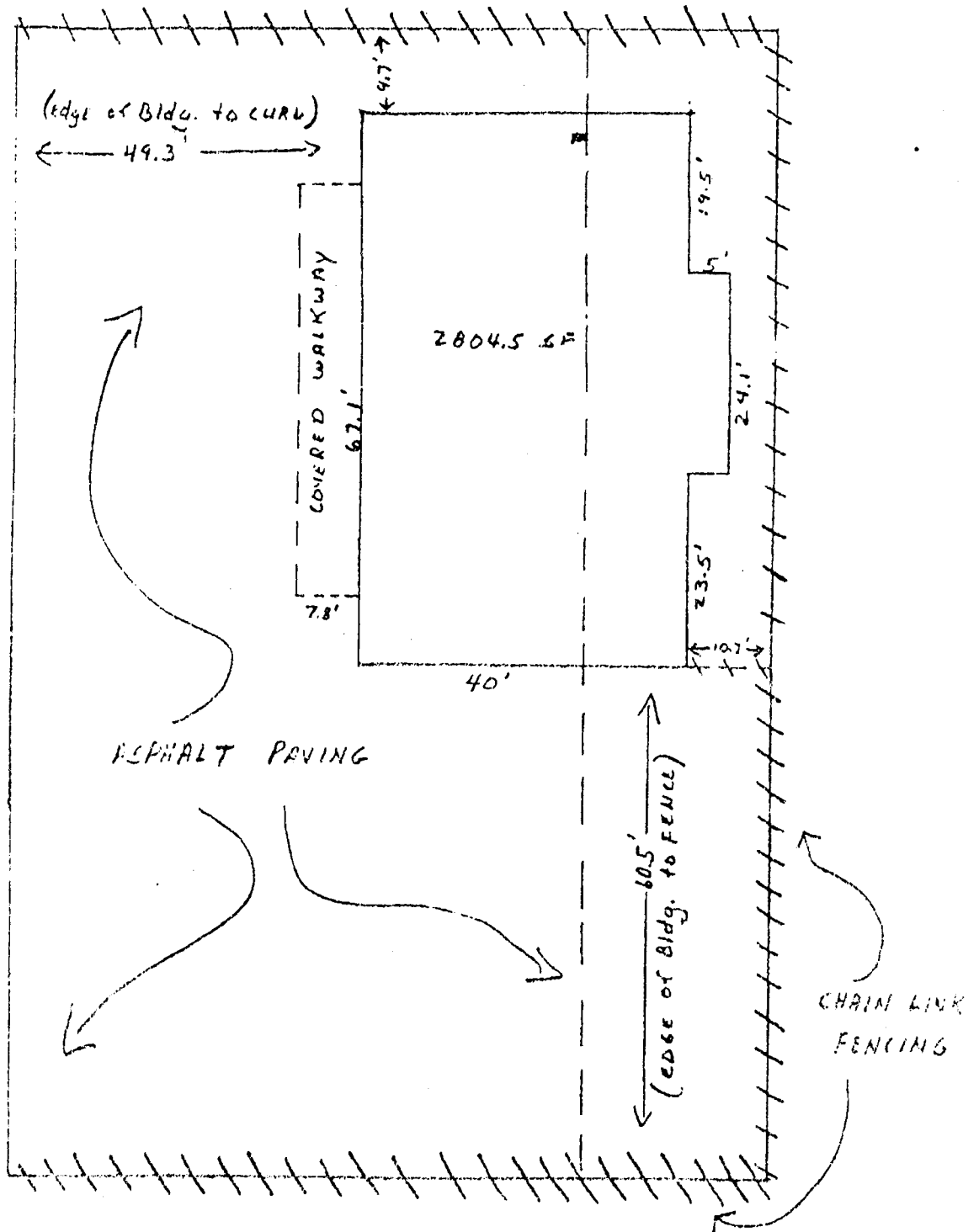


**City of Laredo
Zoning Map**

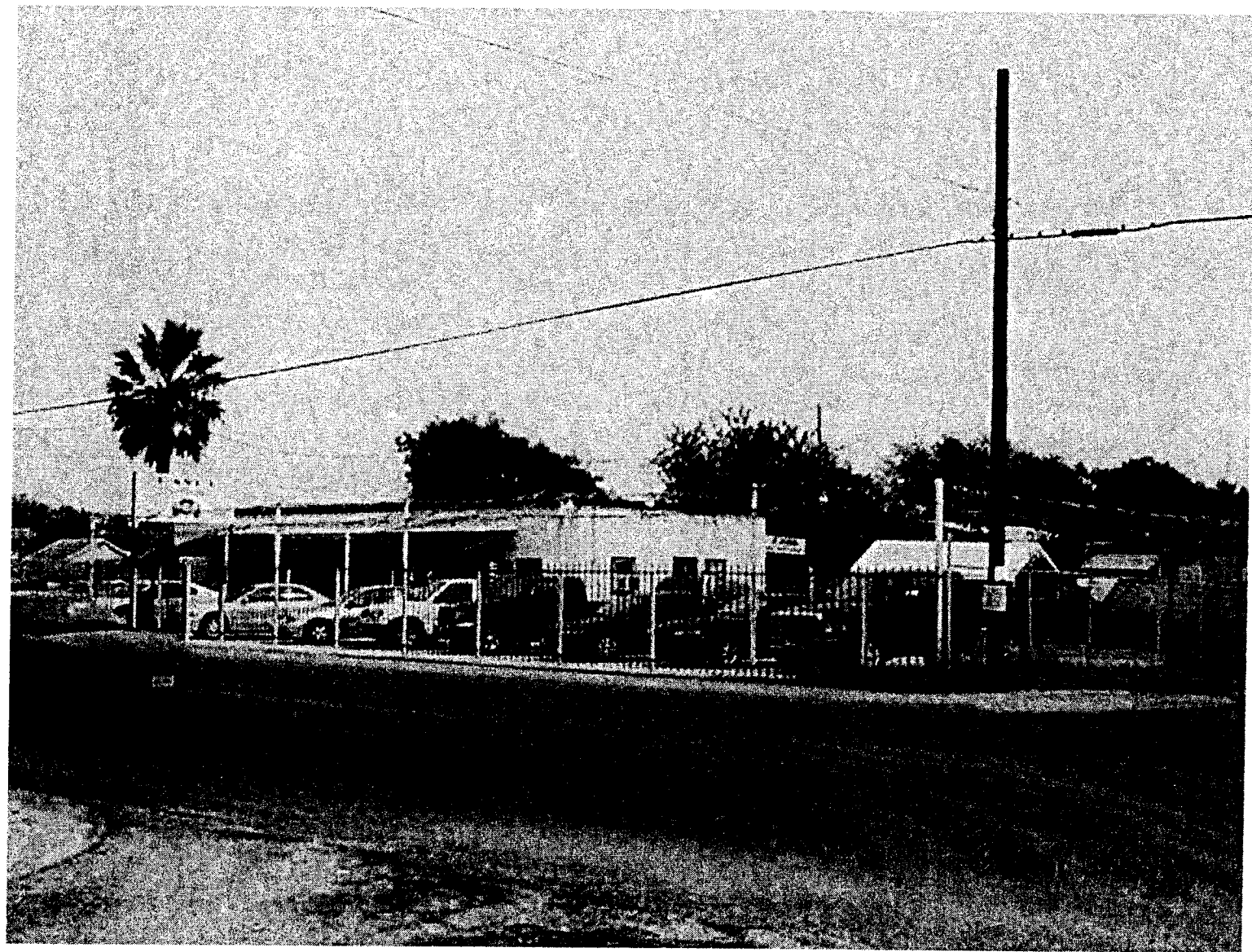


OPTION - LOT 8 + the WEST 22.56' of '04 7, BLOCK 1692
STEP 11 DIVISION

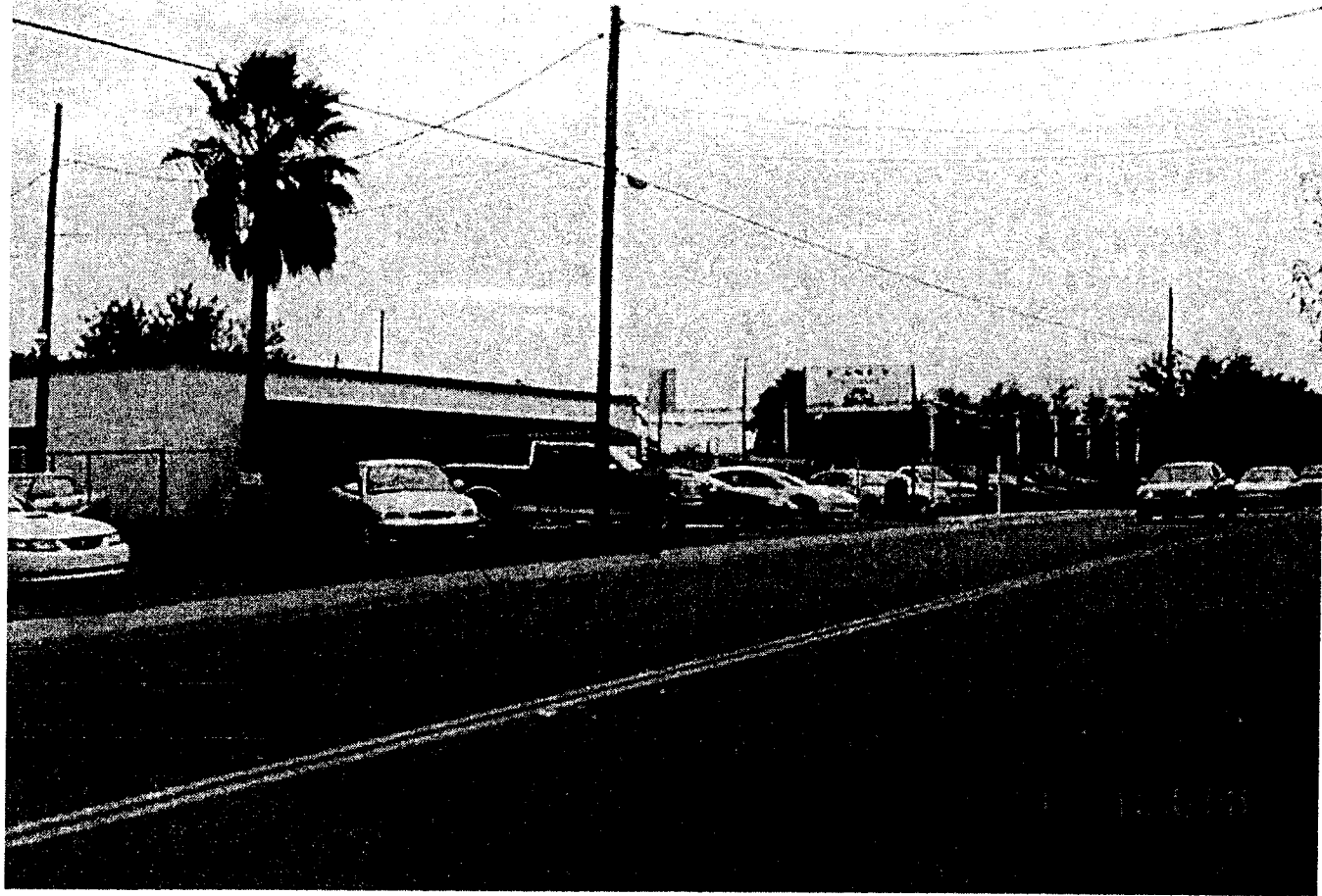
ARKANSAS STREET



2401 ARKANSAS



ZC-86-03



ZC-86-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 2, Block 1, Hilltop Subdivision, Phase I, located at the 420 Hilltop Road, from R-3 (Mixed Residential District) to B-3 (Community Business District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. <div style="text-align: right;">ZC-87-2003</div>
Initiated by: George V. Garcia	Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None	
BACKGROUND Council District: VI – Gene Belmares Proposed use: Commercial (no specific use given). Site: The site is occupied by two manufactured homes. Surrounding land uses: Towne North Mobile Home Park lies to the north, a vacant area lies to the east, several single family dwellings lie to the west and the North Creek Plaza and an area of mixed residential uses lie to the south of the site. Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Medium Density Residential. Transportation Plan: The Long Range Thoroughfare Plan does not identify Hilltop Road. Letters sent to surrounding property owners: 9 In Favor: 1 Opposed: 0	
STAFF COMMENTS The proposed zone change is appropriate at this location. Although inconsistent with the Comprehensive Plan, the proposed change is consistent with the large areas of B-3 and B-4 zoning already evident in the area and the large commercial areas south of the site.	
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in an 8 to 0 vote, recommended approval of the zone change.	STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-3 (Community Business District): The purpose of the B-3 District is to provide for those businesses and services serving a trade area larger than a neighborhood, but smaller than the entire city and located primarily along minor or principal arterial streets, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily abutting minor or principal arterial streets while preserving established residential neighborhoods along such streets.

Is this change contrary to the established land use pattern?

The established land use pattern is primarily commercial but includes some residential uses.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the adjoining zoning districts are R-3, B-4, and B-3.

Will change adversely influence living conditions in the neighborhood?

The single family residences to the west may be negatively impacted.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the existing zoning district allows for sufficient uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOT 2, BLOCK 1, HILLTOP SUBDIVISION, PHASE I, LOCATED AT THE 420 HILLTOP ROAD, FROM R-3 (MIXED RESIDENTIAL DISTRICT) TO B-3 (COMMUNITY BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of Lot 2, Block 1, Hilltop Subdivision, Phase I, located at the 420 Hilltop Road, from R-3 (Mixed Residential District) to B-3 (Community Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning Lot 2, Block 1, Hilltop Subdivision, Phase I, located at the 420 Hilltop Road, from R-3 (Mixed Residential District) to B-3 (Community Business District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.


PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

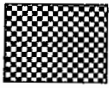
ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY

for 

BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



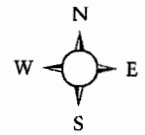
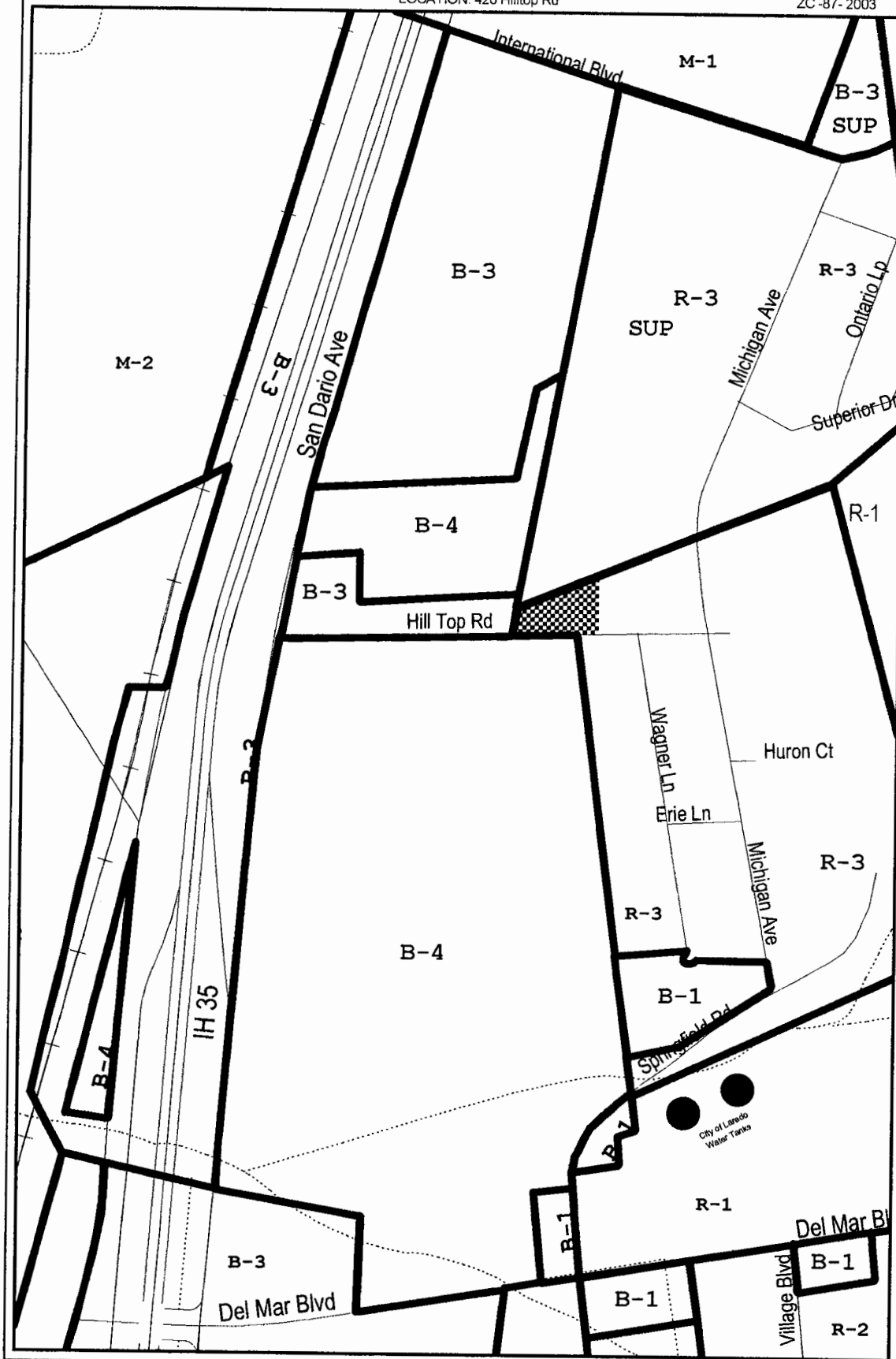
**Rezone from R-3 (Mixed Residential District)
To B-3 (Community Business District)**

LOCATION: 420 Hilltop Rd

ZC-87-2003

City of Laredo
Planning Department
Feet

600



**City of Laredo
Zoning Map**



PORCION 24 ~ ABSTRACT 268 ~ TORIBIO RODRIGUEZ

CASPER J. REGINO
VOLUME 271, PAGES 145-147
WEBB COUNTY DEED RECORDS

TOWNE NORTH PLAT
RECORDED IN VOLUME 10, PAGE 28,
WEBB COUNTY PLAT RECORDS

20' ACCESS EASEMENT RECORDED IN VOLUME
221, PAGE 288, WEBB COUNTY DEED RECORDS

LOT 5 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

LOT 4 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

LOT 3 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

N 68°50'26" E 292.73'
N 68°50'26" E 234.64'

LOT 2 ~ BLOCK 1
0.9356 ACRE
(40,757 SF)

HILLTOP SUBDIVISION PHASE I
AS PER THE PLAT RECORDED IN VOLUME 16,
PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS
THIS IS THE LEGAL DESCRIPTION OF THE TRACT OF
LAND THAT IS DEPICTED ON THE FOREGOING MAP

**HILLTOP SUBDIVISION
PHASE I**

AS PER THE PLAT RECORDED IN VOLUME 16,
PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS

LOT 1 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

N 16°29'03" E
96.84'

S 00°01'37" E 196.52'

25' B.S.

45.53'
115.07'
15' B.S.

S 89°37'06" W 246.44'

S 89°37'06" W 300.57'
HILLTOP ROAD
50' WIDE RIGHT-OF-WAY

20' BUILDING SETBACK LINE

PROPERTY LINE

THIS LOT IS ZONED R3

LOT 9A
REPLAT OF NORTH CREEK PLAZA PHASE II
RECORDED IN VOLUME 13, PAGE 24,
WEBB COUNTY PLAT RECORDS

PROPERTY LINE

20' BUILDING SETBACK LINE

LOT 2 ~ BLOCK 2

LOT 1 ~ BLOCK 2
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

WAGNER LANE
50' WIDE RIGHT-OF-WAY



SCALE: 1"=100'

MEDINA ENGINEERING INC.
P.O. BOX 450297 ~ LAREDO, TEXAS 78045
(956) 712-4411 FAX (956) 712-4410

BEARINGS SHOWN ARE BASED ON THE PLAT OF HILLTOP
SUBDIVISION PHASE I THAT IS RECORDED IN VOLUME
16, PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS

AS PLATTED

BEING ALL OF
LOT 2 ~ BLOCK 1 OF THE HILLTOP SUBDIVISION PHASE I

AS PER THE PLAT RECORDED IN VOLUME 16, PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS
THIS IS THE LEGAL DESCRIPTION OF THE TRACT OF LAND THAT IS DEPICTED ON THE FOREGOING MAP

BEING A PART OF
PORCION 24 ~ ABSTRACT 268 ~ TORIBIO RODRIGUEZ ORIGINAL GRANTEE
CITY OF LAREDO, WEBB COUNTY, TEXAS

CASPER J. REGINO
VOLUME 271, PAGES 145-147
WEBB COUNTY DEED RECORDS

PORCION 24 ~ ABSTRACT 268 ~ TORIBIO RODRIGUEZ

TOWNE NORTH PLAT
RECORDED IN VOLUME 10, PAGE 28,
WEBB COUNTY PLAT RECORDS

LOT 3
BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

20' ACCESS EASEMENT
VOLUME 24, PAGE 88
WEBB COUNTY DEED RECORDS

N 68°50'26" E 292.73'
N 68°50'26" E 219.18'

IT IS MY UNDERSTANDING THAT BOTH
OF THE MOBILE HOMES SHOWN HEREON
ARE PRESENTLY ON SEPTIC TANK SYSTEMS
THERE IS AN EXISTING 6" SANITARY SEWER
CONNECTION FOR LOT 2A AND ONE WILL BE
INSTALLED FOR LOT 2B

LOT 2 ~ BLOCK 1
HILLTOP SUBDIVISION
PHASE I

0.9356 ACRE (40,757 SF)
AS PER THE PLAT RECORDED IN
VOLUME 16, PAGES 85, 86, &
87, WEBB COUNTY PLAT RECORDS
THIS LOT IS ZONED R3

DOUBLE WIDE
MOBILE HOME

LOT 2B
0.7561 ACRE
(32938 SF)

LOT 1 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

LOT 2A
0.1795
ACRE
(7819 SF)
MOBILE HOME
EXISTING 6" SS SERVICE
25' B.S.

EXISTING
WATER METER

EXISTING
WATER METER

EXISTING 6" SS SERVICE
PROPERTY LINE

S 89°37'06" W 300.57'

HILLTOP ROAD

50' WIDE RIGHT-OF-WAY

3-WATER
VALVES

SEWER
MANHOLE

EXISTING
4' SIDEWALK

8"SEWER LINE

8"SEWER LINE

8"WATER LINE

6"WATER LINE

R.O.W. DEDICATION
0.0185 ACRE TRACT
VOL. 462, PAGE 146

R.O.W. DEDICATION
0.0680 ACRE TRACT
VOL. 462, PAGE 119

5' R.O.W. DEDICATION
NORTH CREEK PLAZA PHASE II
VOLUME 13, PAGE 24
WEBB COUNTY PLAT RECORDS

EXISTING FIRE
HYDRANT

20' BUILDING SETBACK LINE

LOT 9A
REPLAT OF NORTH CREEK PLAZA PHASE II
RECORDED IN VOLUME 13, PAGE 24,
WEBB COUNTY PLAT RECORDS

LOT 1 ~ BLOCK 2
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

SCALE: 1"=50'

BEARINGS SHOWN ARE BASED ON THE PLAT OF HILLTOP
SUBDIVISION PHASE I THAT IS RECORDED IN VOLUME
16, PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS

STATE OF TEXAS:
COUNTY OF WEBB:
I, A.J. MEDINA, Jr., REGISTERED PROFESSIONAL LAND SURVEYOR,
DO HEREBY CERTIFY THAT THE FOREGOING MAP IS BASED ON A SURVEY
CONDUCTED ON THE GROUND UNDER MY SUPERVISION AND THAT IT
REFLECTS FACTS FOUND AT THE TIME THAT SAID SURVEY WAS MADE.
THIS THE 1st DAY OF OCTOBER, 2003.

ANTONIO J. MEDINA, Jr.
REGISTERED PROFESSIONAL LAND SURVEYOR No. 5104, TEXAS

IMPROVEMENTS SURVEY

LOT 2 ~ BLOCK 1 HILLTOP SUBDIVISION PHASE I

AS PER THE PLAT RECORDED IN VOLUME 16, PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS
AND SHOWING THE PROPOSED REPLAT OF SAME INTO

LOT 2A ~ 0.1795 ACRE (7819 SF)

AND

LOT 2B ~ 0.7561 ACRE (32938 SF)

SITUATED IN THE

CITY OF LAREDO, WEBB COUNTY, TEXAS

MEDINA ENGINEERING INC.
P.O. BOX 450297 ~ LAREDO, TEXAS 78046
(956) 712-4411 FAX (956) 712-4410

SCALE: 1" = 50'

DRAWN BY: AJM, Jr.

DATE: OCTOBER 1, 2003

DISK FILE: GARCIAHILLTOPROADREPLAT1

FIELD BOOK: FB 2-03, PAGES 28-30

FILE No.: Mrs. WAGNER AREA

PORCION 24 ~ ABSTRACT 268 ~ TORIBIO RODRIGUEZ

CASPER J. REGINO
VOLUME 271, PAGES 145-147
WEBB COUNTY DEED RECORDS

TOWNE NORTH PLAT
RECORDED IN VOLUME 10, PAGE 28,
WEBB COUNTY PLAT RECORDS

20' ACCESS EASEMENT RECORDED IN VOLUME
221, PAGE 288, WEBB COUNTY DEED RECORDS

**HILLTOP SUBDIVISION
PHASE I**

AS PER THE PLAT RECORDED IN VOLUME 16,
PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS

LOT 1 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

LOT 5 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

LOT 4 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

LOT 3 ~ BLOCK 1
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

N 16°29'03" E
96.84'

LOT 2A

LOT 2B
BLOCK 1

S 00°01'37" E 196.52'

20' BUILDING SETBACK LINE

PROPERTY LINE

S 89°37'06" W 300.57'
HILLTOP ROAD

50' WIDE RIGHT-OF-WAY

TABLE OF LOT AREAS:

LOT 2A : 0.1795 ACRE (7,819 SF)
LOT 2B : 0.7561 ACRE (32,938 SF)
PRESENT ZONING: R3

LOT 9A
REPLAT OF NORTH CREEK PLAZA PHASE II
RECORDED IN VOLUME 13, PAGE 24,
WEBB COUNTY PLAT RECORDS

PLAT NOTES SPECIFIC TO THIS REPLAT:

1. THIS REPLAT DOES NOT ATTEMPT TO ALTER, AMEND, OR REMOVE ANY COVENANTS OR RESTRICTIONS. NO PORTION OF THE PRECEDING PLAT WAS LIMITED BY DEED RESTRICTION TO RESIDENTIAL USE FOR NOT MORE THAN TWO RESIDENTIAL UNITS PER LOT.
2. THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE LOT 2, BLOCK 1, OF THE HILLTOP SUBDIVISION PHASE I, AS PLATTED, INTO LOT 2A AND LOT 2B AS SHOWN ON THE FOREGOING MAP.
3. FINAL APPROVAL OF THIS PLAT WOULD NOT VACATE OR EXTINGUISH ANY OTHER EASEMENT(S) THAT MAY EXIST BY VIRTUE OF ANY OTHER RECORDED INSTRUMENTS.

N

SCALE: 1"=100'

MEDINA ENGINEERING INC.
P.O. BOX 450297 ~ LAREDO, TEXAS 78045
(956) 712-4411 FAX (956) 712-4410

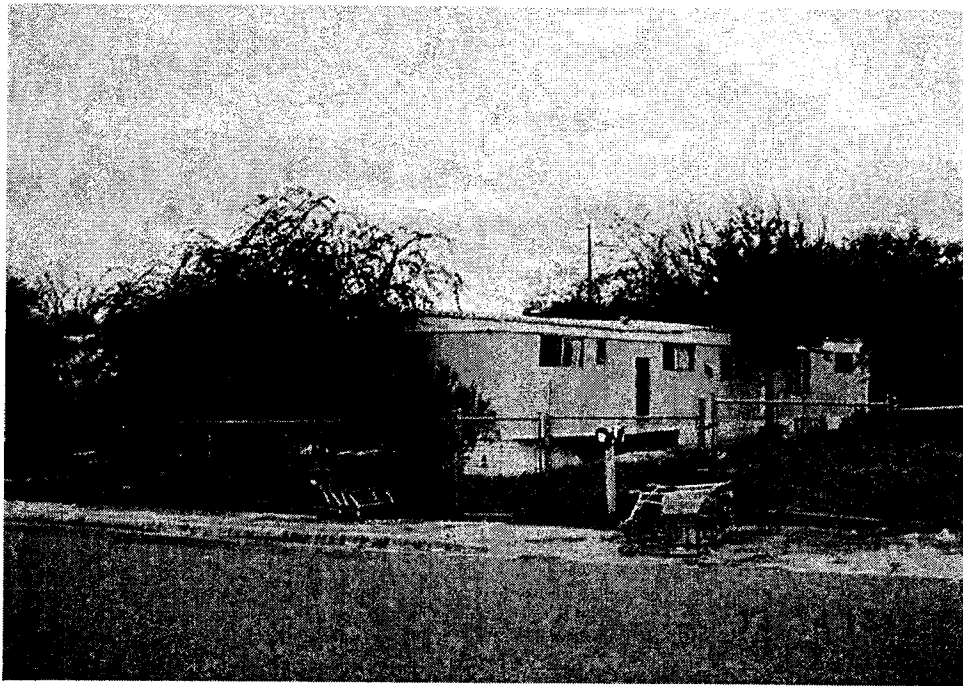
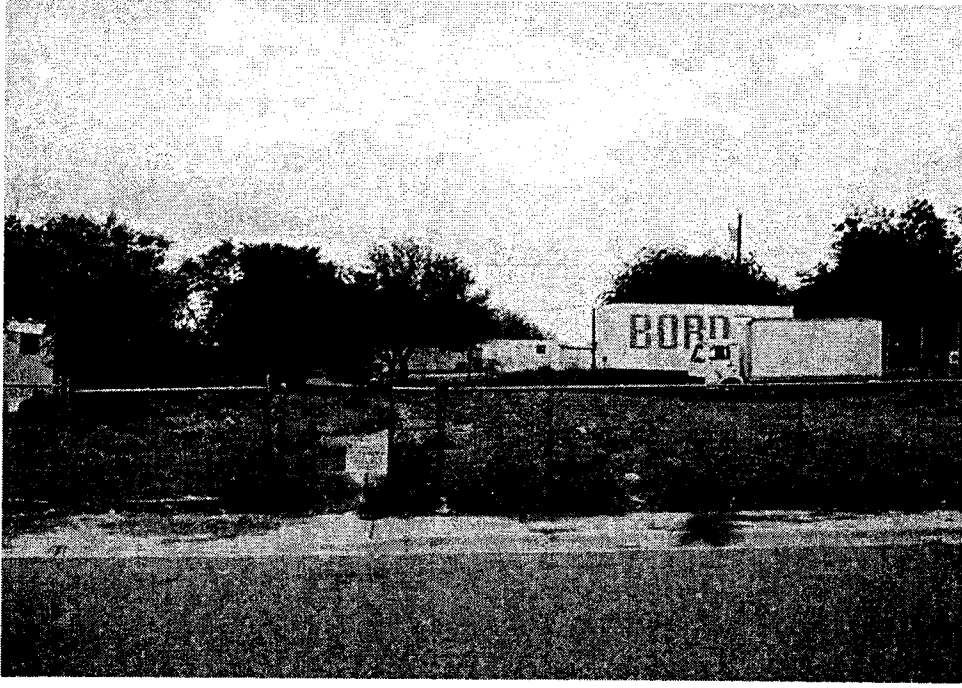
BEARINGS SHOWN ARE BASED ON THE PLAT OF HILLTOP
SUBDIVISION PHASE I THAT IS RECORDED IN VOLUME
16, PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS

WAGNER LANE
50' WIDE RIGHT-OF-WAY

LOT 2 ~ BLOCK 2

LOT 1 ~ BLOCK 2
VOLUME 16, PAGES 85, 86, & 87
WEBB COUNTY PLAT RECORDS

REPLAT
OF
LOT 2 ~ BLOCK 1 OF THE HILLTOP SUBDIVISION PHASE I
AS PER THE PLAT RECORDED IN VOLUME 16, PAGES 85, 86, & 87, WEBB COUNTY PLAT RECORDS
INTO
LOT 2A AND LOT 2B OF THE HILLTOP SUBDIVISION PHASE I
SITUATED IN THE
CITY OF LAREDO, WEBB COUNTY, TEXAS



ZC-87-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the amendment a Conditional Use Permit for a meat-market/supermarket on Lot 2 and the S. 1/3 or 23.14' of Lot 4, Block 1056, Western Division, located at 4201 Flores Ave; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit. ZC-88-2003
Initiated by: Mario Perez and Enrique Pantoja	Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: On 12/17/01, the Commission recommended denial of an R-3 to B-1 zone change and approval of a Conditional Use Permit. On 01/14/02, Council approved Ordinance No. 2002-O-008 authorizing a CUP for a meat-market/supermarket on this site.	
BACKGROUND Council District: VII - Jose A. Valdez, Jr. Proposed use: Commercial (a meat market/supermarket <u>and four office suites on the upper level of the current structure</u>). The applicant has been cited for the office activity in violation of the CUP. Site: The site is currently occupied by a two story commercial structure. Surrounding land uses: North of the site are single family residences, a welding shop, a recycling center, a vacant beer run, and a fast food Mexican restaurant. West of the site are primarily single family residences. South of the site are single family residences, Johnny Castillo's Auto Parts, the City of Laredo Juvenile Detention Center, and a small shopping complex that includes Fong's Restaurant, Danny's Restaurant, Jack & Jill's Daycare, and a variety of other commercial uses. The bulk of the commercial activity in the vicinity of the site is south of Chicago St. and along the San Bernardo corridor to the west. Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential. Transportation Plan: The Long Range Thoroughfare Plan does not identify Flores Ave. Letters sent to surrounding property owners: 23 In Favor: 1 Opposed: 1	
STAFF COMMENTS On January 14 th , 2002, City Council approved Ordinance 2002-O-008, which authorized the issuance of a Conditional Use Permit for meat-market/supermarket. The applicant now wishes to rent out the upper levels of the existing structure to accommodate office type uses. The inclusion of offices uses on site would not be inappropriate, however, Staff does recommend the following conditions be added to the originally imposed condition: <u>Condition originally imposed by the CUP:</u> 1. The C.U.P. is to be issued to Mario Perez and Enrique Pantoja, only, and is nontransferable. <u>Conditions Staff recommends be added:</u> 1. Meet the minimum parking requirements as per Ordinance for all uses on site. <div style="text-align: right;">Comments continued....</div>	
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 6 to 2 vote, recommended approval of the amendment of the Conditional Use Permit.	STAFF RECOMMENDATION: Staff <u>supports</u> the proposed Conditional Use Permit amendment.

COUNCIL COMMUNICATION

STAFF COMMENTS CONTINUED:

2. Provide 15% green area of the total lot area.
3. The hours of operation of the meat-market/supermarket shall be limited to those hours between 9:00 a.m. to 10:00 p.m.
4. Nationalization of vehicles businesses shall not be permitted on site.
5. Outside storage and/or vending are prohibited.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING THE AMENDMENT A CONDITIONAL USE PERMIT FOR A MEAT-MARKET/SUPERMARKET ON LOT 2 AND THE S. 1/3 OR 23.14' OF LOT 4, BLOCK 1056, WESTERN DIVISION, LOCATED AT 4201 FLORES AVE.; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the owner of Lot 2 and the S. 1/3 or 23.14 feet of Lot 4, Block 1056, Western Division, located at 4201 Flores Ave., has requested the amendment Ordinance No. 2002-O-008 authorizing a Conditional Use Permit for a meat-market/supermarket such that office type activities are permitted; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the Conditional Use Permit amendment; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the Conditional Use Permit amendment appropriate and consistent with the General Plan of the City of Laredo.

WHEREAS, all conditions imposed by the Conditional Use Permit, and all pertinent requirements the Laredo Land Development Code shall be met before the activity sanctioned by the Conditional Use Permit may commence.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by allowing the revision of Ordinance No. 2002-O-008 authorizing a Conditional Use Permit for a meat-market/supermarket on Lot 2 and the S. 1/3 or 23.14 feet of Lot 4, Block 1056, Western Division, located at 4201 Flores Ave such that office type activities are permitted.

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. The C.U.P. is to be issued to Mario Perez and Enrique Pantoja, only, and is nontransferable.
2. Meet the minimum parking requirements as per Ordinance for all uses on site.
3. Provide 15% green area of the total lot area.
4. The hours of operation of the meat-market/supermarket shall be limited to those hours between 9:00 a.m. to 10:00 p.m.
5. Nationalization of vehicles businesses shall not be permitted on site.
6. Outside storage and/or vending are prohibited.

Section 3: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

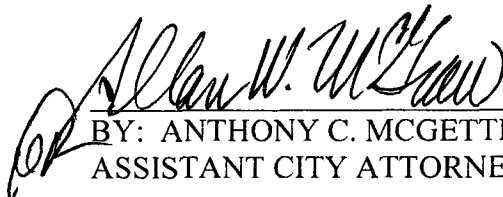
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

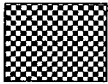
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



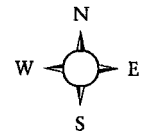
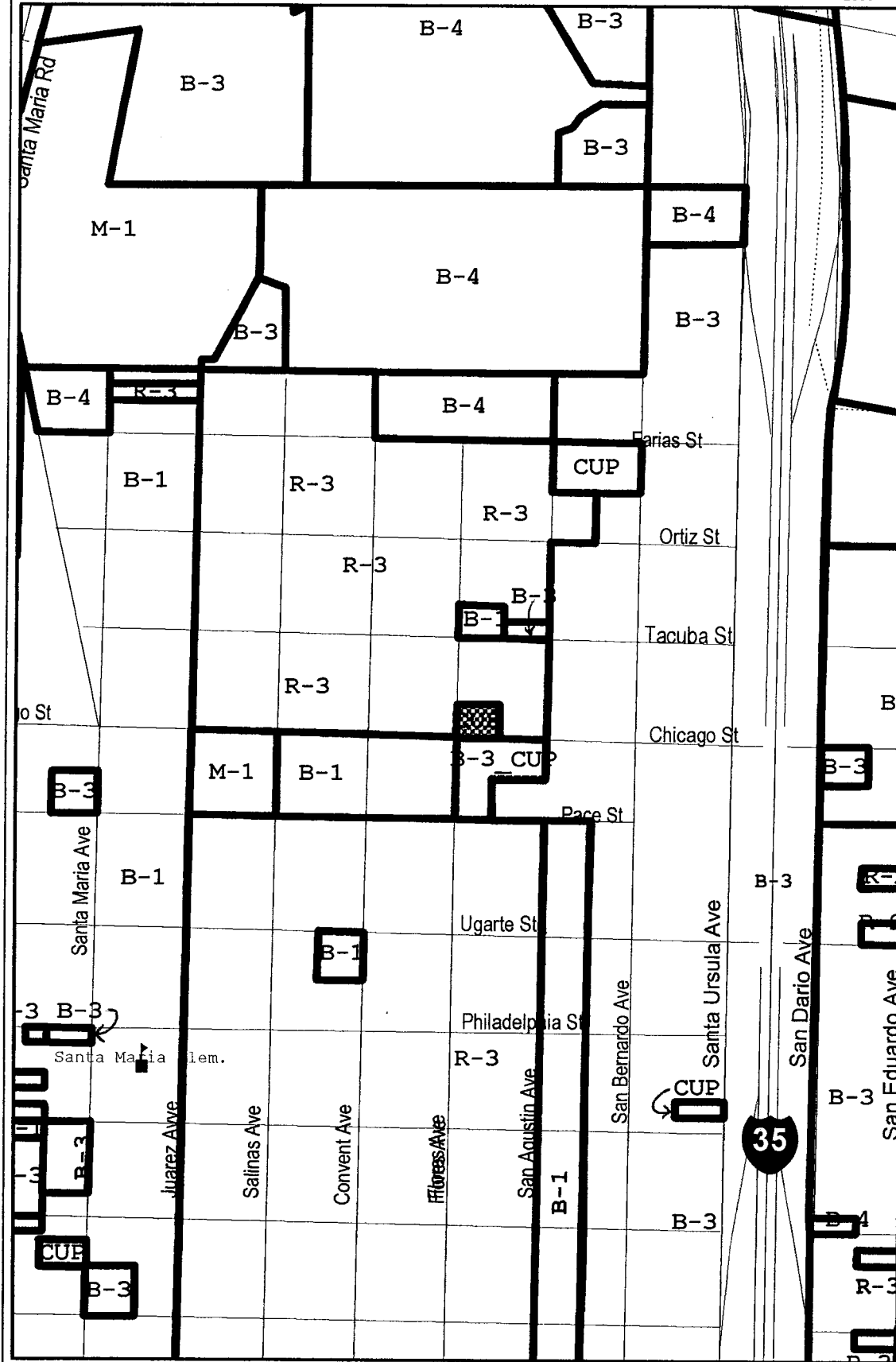
Request to amend C.U.P. (Conditional Use Permit)

LOCATION: 4201 Flores St

ZC-88-2003

City of Laredo
Planning Department
Feet

500



City of Laredo
Zoning Map



GREEN ARMY



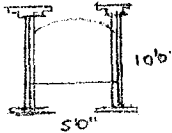
DESCRIPTION OF PROPERTY USES

We are requesting the Planning and Zoning Department permission to use the second floor four spaces of our building located at 4201 Flores, to be used as office spaces focusing to the needs of the community by applying an amendment to the present C.U.P. zoning.

POTENTIAL USES INCLUDE:

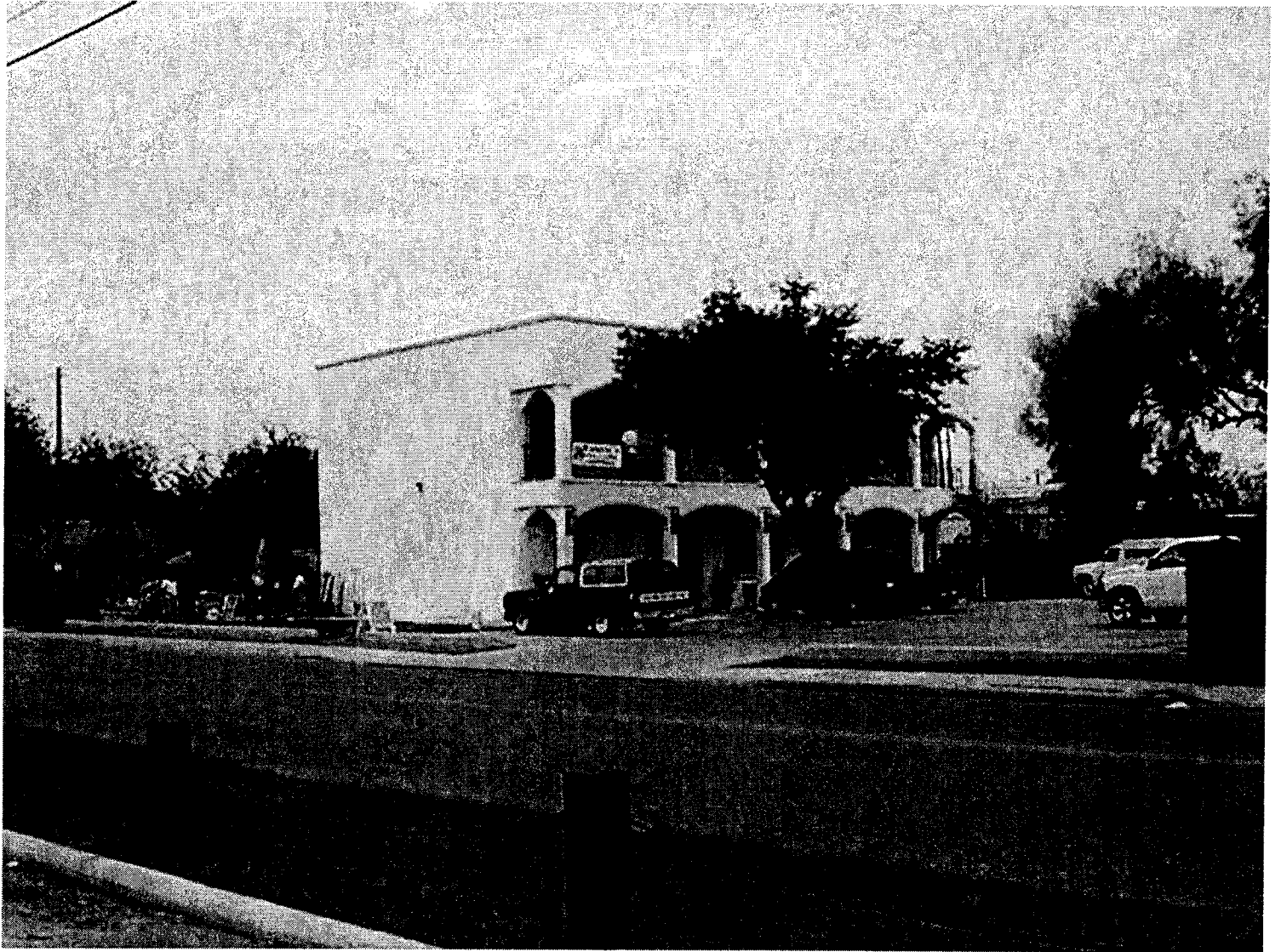
- * Notary Public
- * Flower Shop
- * Beauty Salon
- * Cosmetic Care
- * Legal Offices
- * Locksmith
- * Open to other community needs

* SIGN INSTALLATION

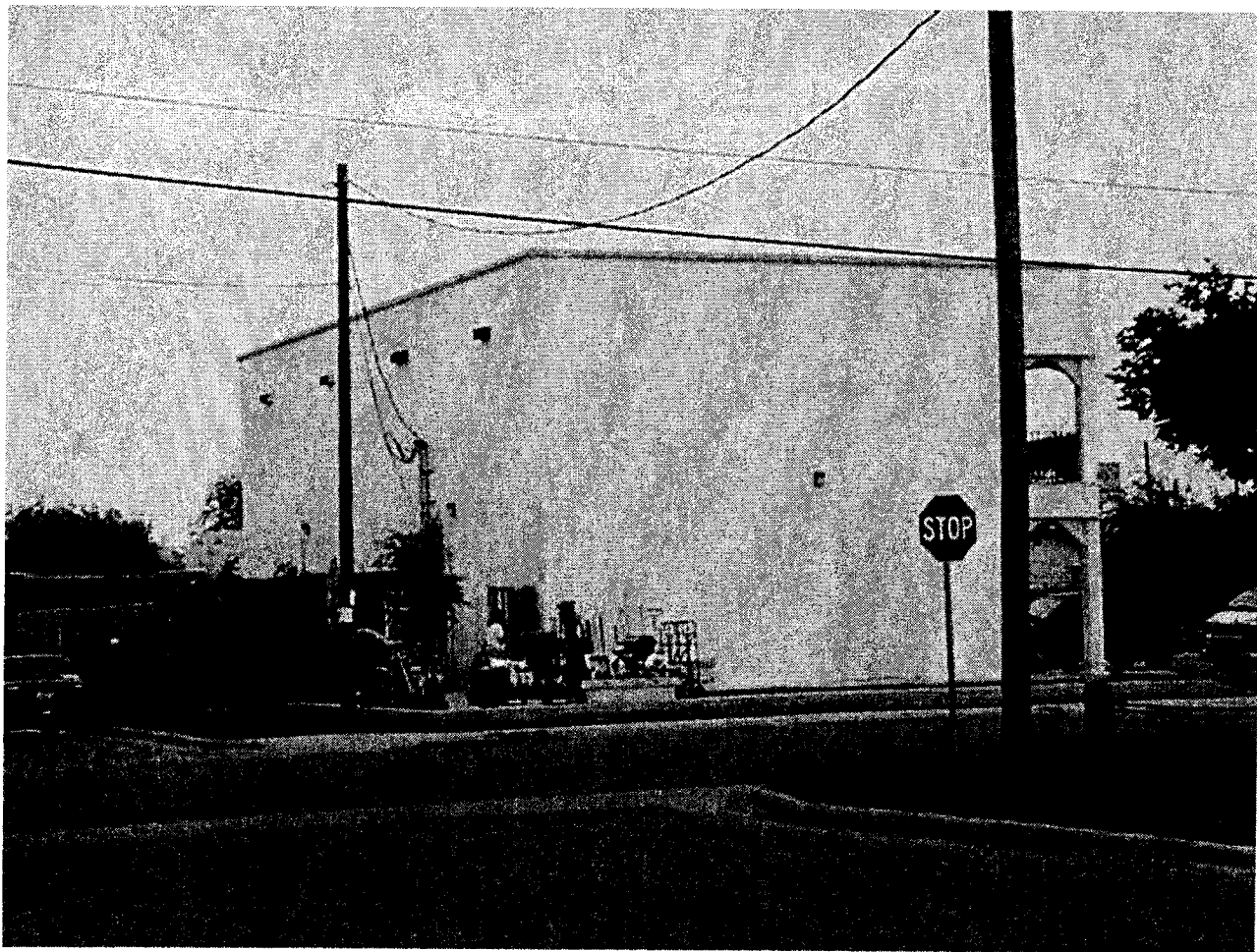
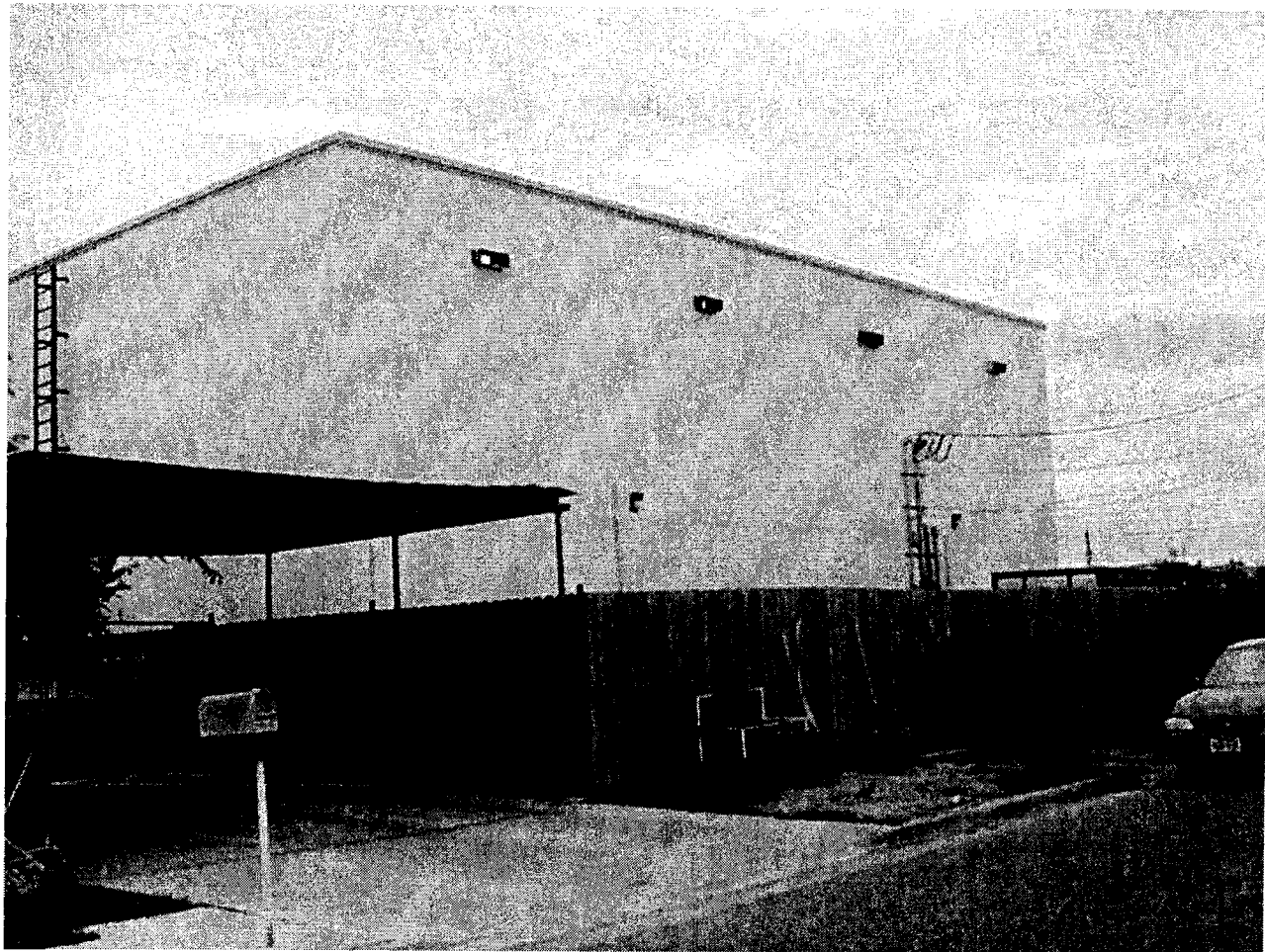



Jose Pantoja

10-17-03



ZC-88-03



ZC-88-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing a Conditional Use Permit for a sign on Lot 5A, Block 849, Eastern Division, located at 1520 East San Pedro St; providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed Conditional Use Permit. ZC-89-2003	
Initiated by: Alpha Minor Emergency Clinic		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND Council District: IV – John Amaya Proposed use: Commercial. The site will be used as a minor emergency care clinic, however, the conditional use permit is being requested in order to authorize a sign whose dimensions would only be allowed in a B-3 zoned district. The applicant proposes an internally illuminated sign measuring 30' tall, and 8'4.75"x 16' or 133.28 sq.ft. (See attached Exhibit "A") Site: The site is currently occupied by a two story commercial structure and is zoned B-1 (Limited Commercial District). Surrounding land uses: Mercy Hospital lies to the east; a mix of residential uses and a medical complex lies to the north; and the area west and south of the site is occupied by more mixed residential uses, two warehouses, a Burger King restaurant, Wendy's, a used car dealership, a stucco plastering shop, and a mechanic shop. Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office. Transportation Plan: The Long Range Thoroughfare Plan does not identify Meadow Ave. at this location.		
Letters sent to surrounding property owners: 36 In Favor: 2 Opposed: 2		
STAFF COMMENTS The B-1 (Limited Commercial District) allows freestanding, on-premise, general signs measuring a maximum of 40 sq. ft. and 15 ft. tall (See attachment Exhibit "B"). The Laredo Land Development Code's signage regulations are intended to "protect property values, create a more attractive business climate, enhance and protect the physical appearance of the community, and preserve the scenic and natural beauty of designated areas." The City's sign regulations are intentionally designed to reduce sign or advertising distraction in furtherance of the above mentioned goals. Deviation from the prescribed signage maximums would have negative and sustained effects on all of Laredo's elements the regulations seeks to enhance. Though Staff does not support the Conditional Use Permit, the following condition is recommended should the permit be approved: <ol style="list-style-type: none"> 1. No additional signage shall be allowed on site. 2. The Special Use Permit is restricted to the site plan, Exhibit "A", which is made a part hereof for all purposes. 		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 6 to 2 vote, recommended denial of the Conditional Use Permit.		STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed Conditional Use Permit.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING A CONDITIONAL USE PERMIT FOR A SIGN ON LOT 5A, BLOCK 849, EASTERN DIVISION, LOCATED AT 1520 EAST SAN PEDRO ST.; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the owner of Lot 5A, Block 849, Eastern Division, located at 1520 East San Pedro St., has requested a Conditional Use Permit for a sign; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on November 20, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the Conditional Use Permit; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the Conditional Use Permit amendment appropriate and consistent with the General Plan of the City of Laredo.

WHEREAS, all conditions imposed by the Conditional Use Permit, and all pertinent requirements the Laredo Land Development Code shall be met before the activity sanctioned by the Conditional Use Permit may commence.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by authorizing a Conditional Use Permit for a sign on Lot 5A, Block 849, Eastern Division, located at 1520 East San Pedro St.

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. No additional signage shall be allowed on site.
2. The Special Use Permit is restricted to the site plan, Exhibit "A", which is made a part hereof for all purposes.

Section 3: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

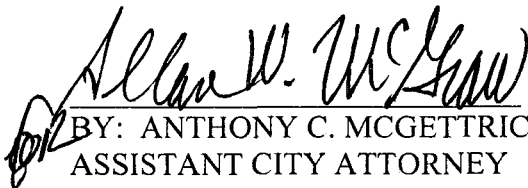
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY

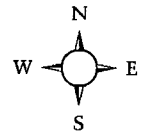
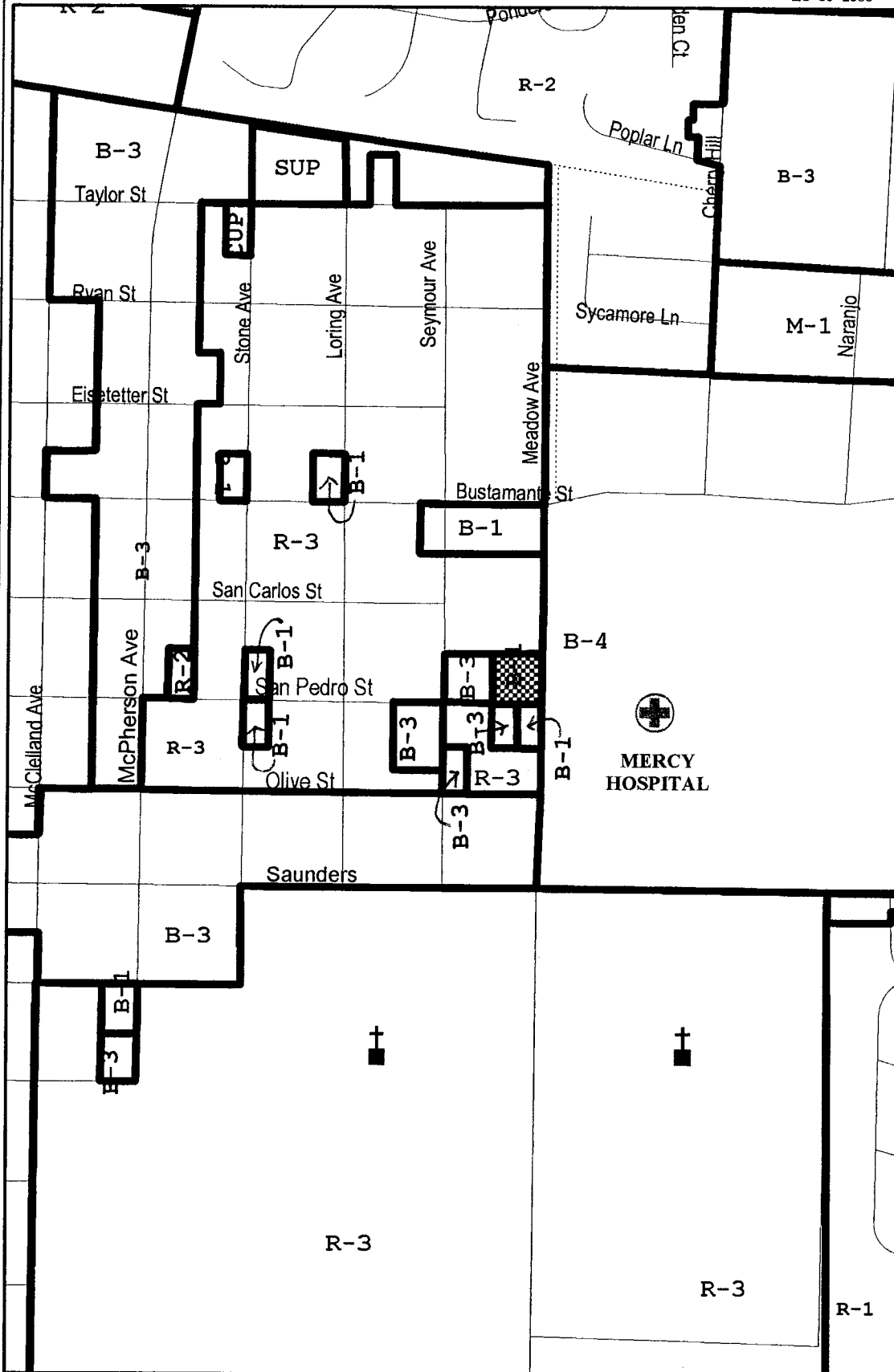
**Request for a
C.U.P. (Conditional Use Permit)**

City of Laredo
Planning Department
Feet

LOCATION: 1520 San Pedro St.

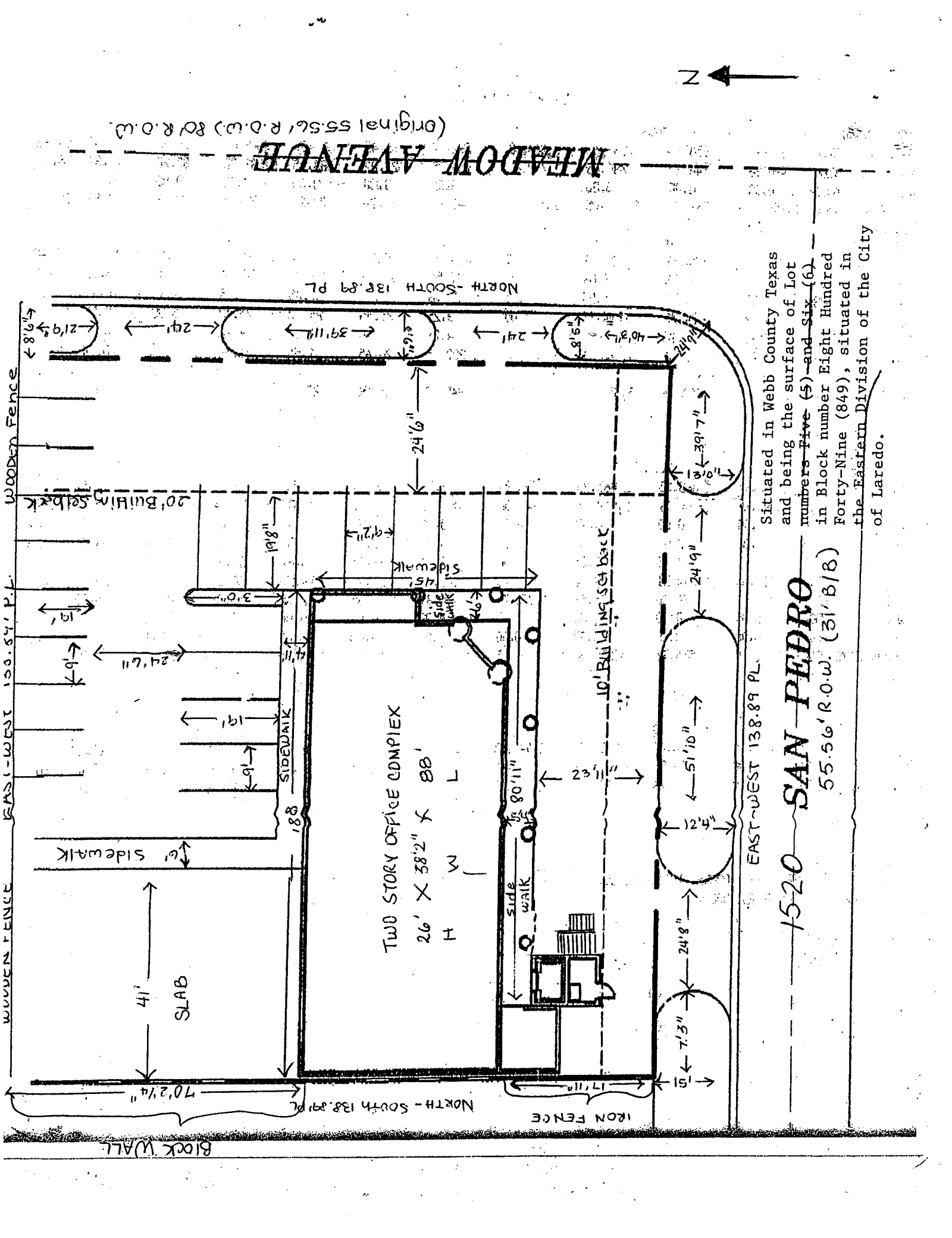
ZC-89-2003

500



**City of Laredo
Zoning Map**





Block Wall

TWO STORY OFFICE COMPLEX
26' X 38'2" X 88' L
H W L

SLAB

IRON FENCE

EAST-WEST 138.89 PL

1520 SAN PEDRO
55.56' R.O.W. (31' B/B)

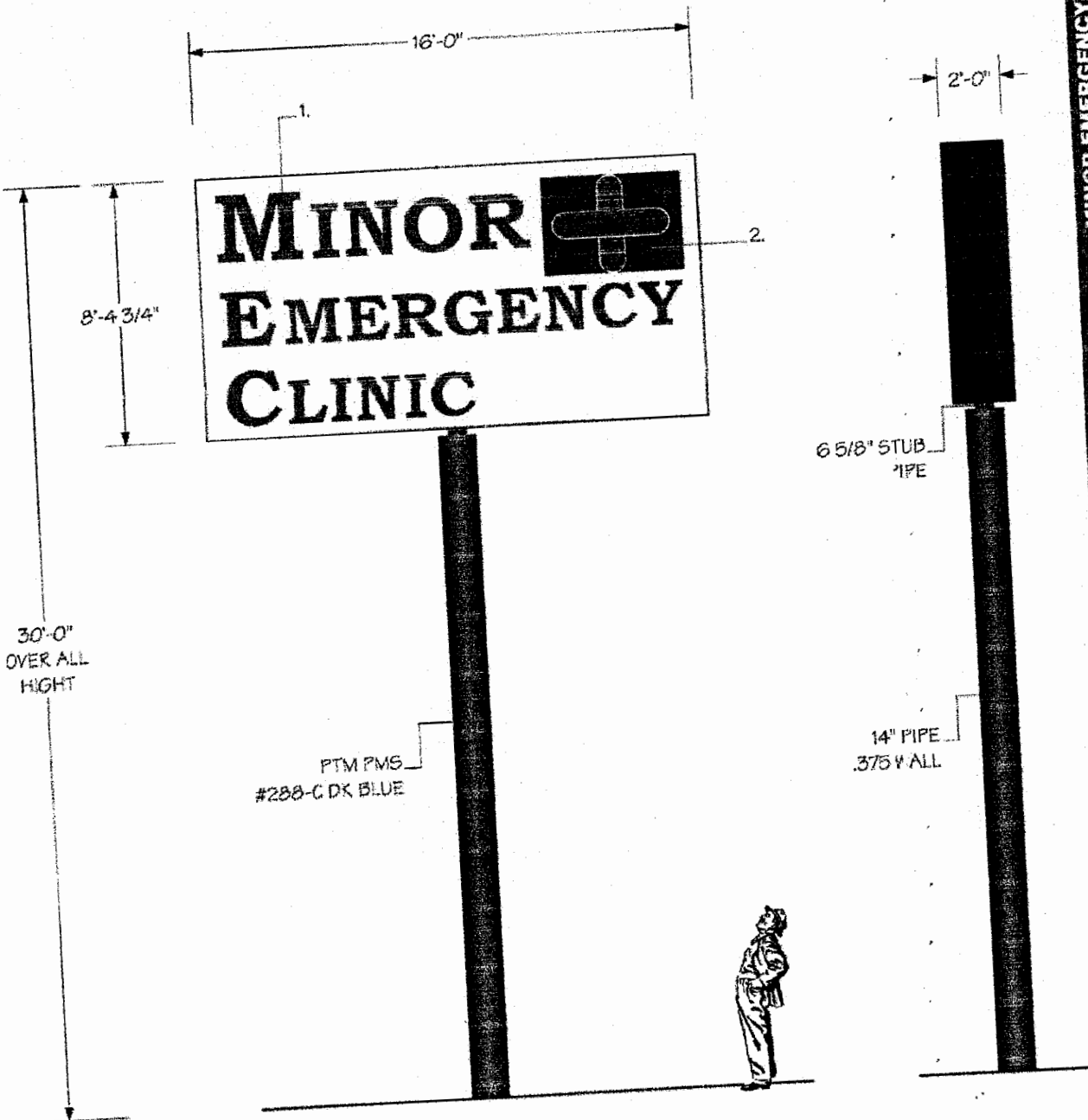
Situated in Webb County Texas
and being the surface of Lot
numbers five (5) and six (6)
in Block number Eight Hundred
Forty-Nine (849), situated in
the Eastern Division of the City
of Laredo.

MEADOW AVENUE

NORTH-SOUTH 138.89 PL



(original 55.56' R.O.W.) 80' R.O.W.



MANUFACTURE AND INSTALL: (1) ONE INTERNALLY ILLUMINATED D/F BLEED FLEX FACE ROTATING PYLON SIGN, PAINT TO MATCH CABINET PMS #288-C DK BLUE.

COLOR SPECS:

1. CALON #73 RED COPY / WHITE BKG.
2. LOGO - CALON #36 BLUE BKG WITH CALON #73 RED CROSS / WHITE OUTLINE.

ROTATING UNIT: FG-200 WITH MATCHING PLATE AND A SPLIT PLATE WITH ROLLERS FOR A 6 5/8" PIPE.

General MANUFACTURE AND INSTALL OR REFACE:		Structure (OAK) SIGN: FRAME: FILLER: RAILS: POLE COLOR & SIZE: TIGLE SIZE:	Electrical LAMPS: EST NFON: EST AMPS: BALLAST: VOLTAGE:	2850 THOUSAND OAKS SUITE 23 SAN ANTONIO, TX.		MINOR EMERGENCY CLINIC	
				CUSTOMER APPROVAL:		THIS IS AN ORIGINAL, UNPUBLISHED DRAWING CREATED BY SWS SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY SWS SIGNS. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.	
CABINET SIZE & COLOR:		SIGN OF DRW.		DATE: 10-28-03		SALES REP: Greg B.	
SQUARE FOOTAGE:		POLE COLOR & SIZE:		DRAWN BY: Albert R.		DOG NO.:	
RETAINER SIZE:		VOLTAGE: 120V		SIGNED: 3/16"		WO#04881-001	
DEPTH: SIZE CABINET:		(4) 120V		210-648-3221 • WWW.SOUTHWESTSIGNS.COM • 800-927-3221		7208 So. W.W. White Rd. San Antonio, Texas 78220	

Alpha Minor Emergency Clinic
(956)791-9111

November 14, 2003

City Of Laredo
Planning and Zoning Commission

Dear Sir or Madam:

Please see the attached diagram for the proposed sign we would like to place next to the right side of the office building on San Pedro.

Alpha Minor Emergency clinic will be serving our city in the capacity of services to the people of Laredo who are in need of timely urgent care for scrapes, bruises, strains, and sudden on set of illness which occur after their normal physicians have closed their offices and on weekends. We have the hopes to relieve the Emergency rooms of their over crowded nature and help them to concentrate on true Emergency room services for critical care. We have been receiving much positive feedback from the Emergency room Director of Mercy Hospital and hope to work with both Doctors hospital and Mercy Hospital to serve our community.

We feel we need a 30 – 50 foot lighted sign, which would be able to be seen directly from Saunders. Due to the location of the building when an emergency occurs and parents need to find our facility a smaller unlit sign would not be readily seen from Saunders.

Thank you for your consideration and help with this matter.

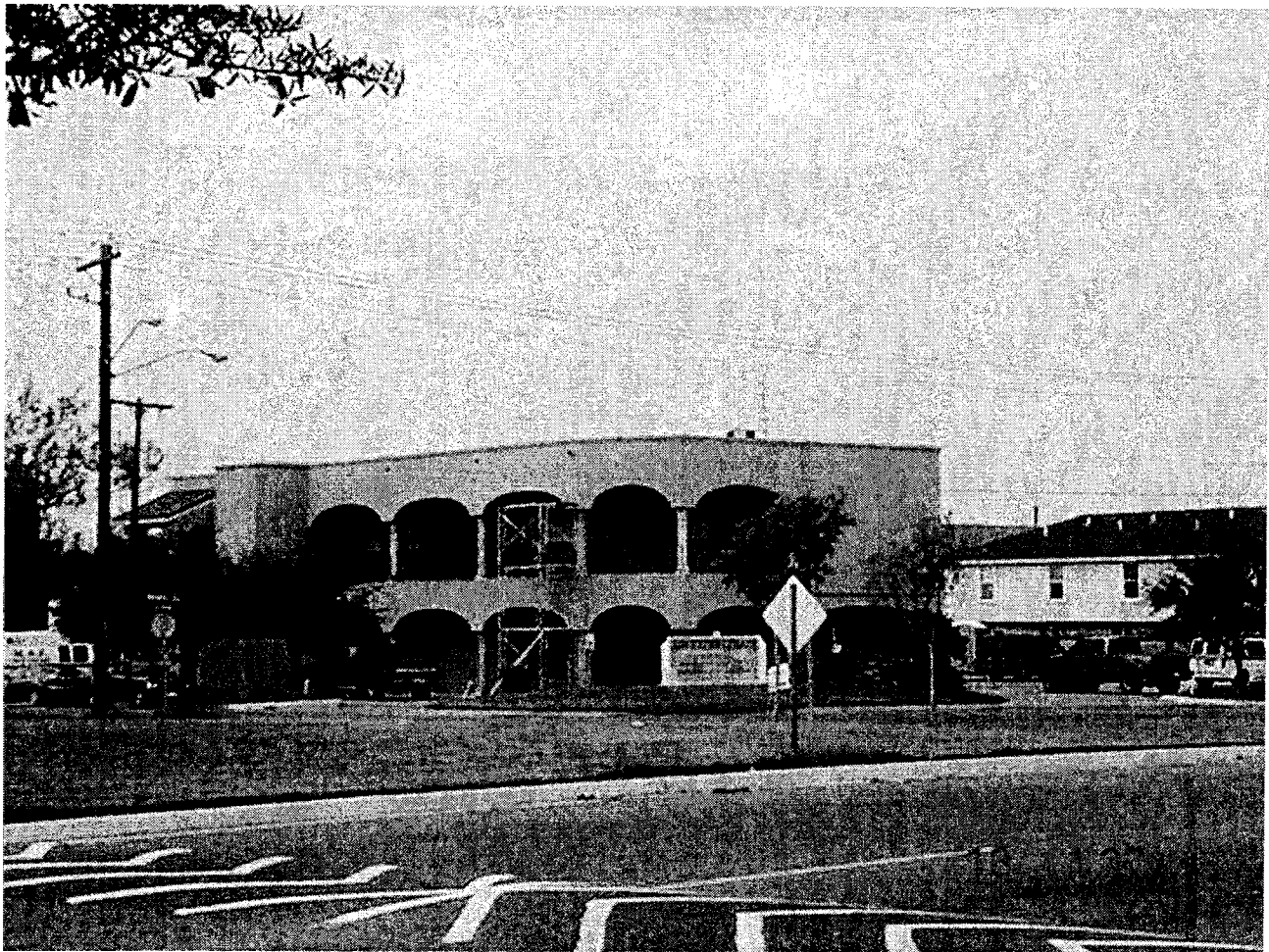
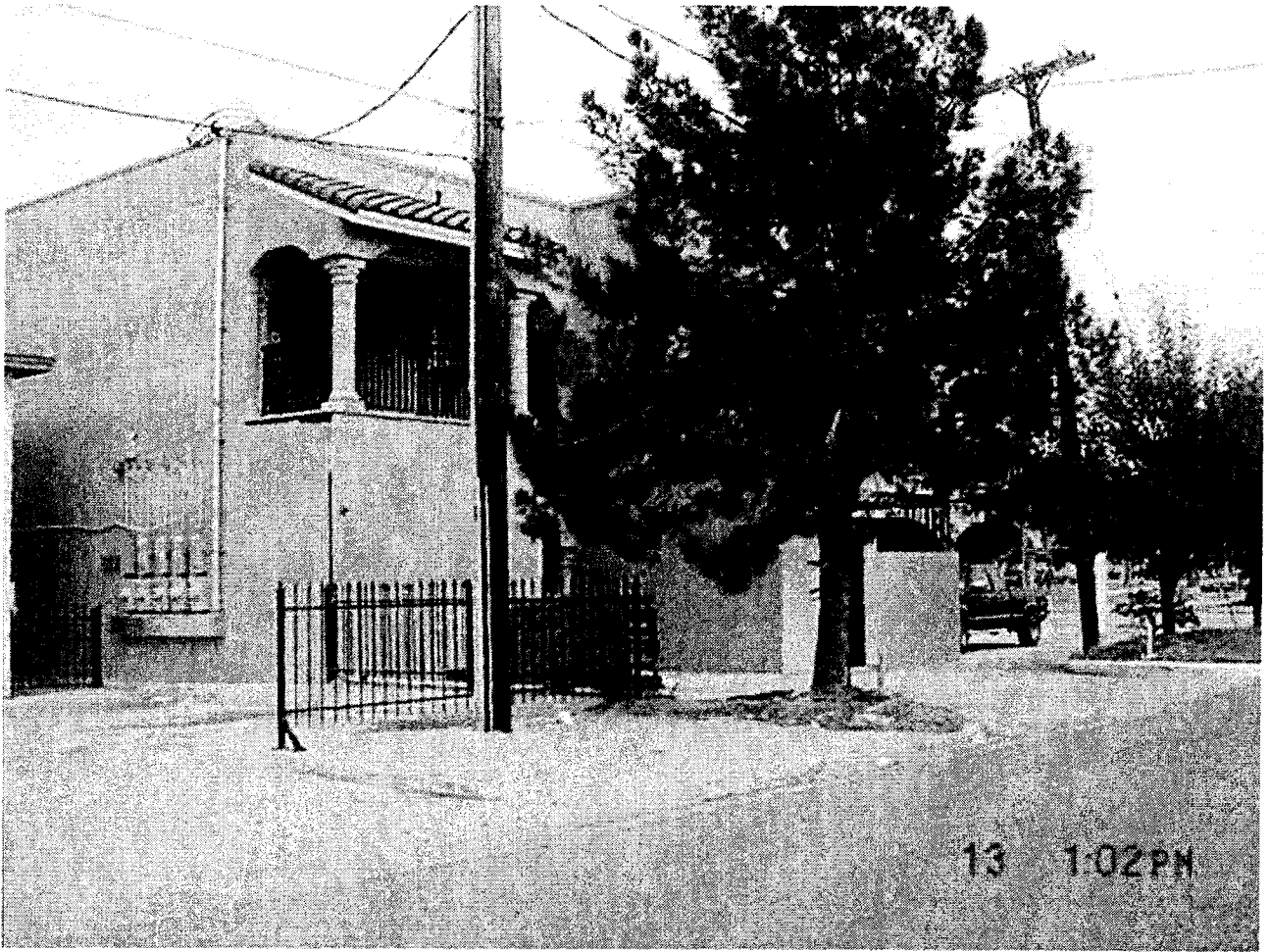
Sincerely,
Michelle Kizewski, Administrator
Judson Somerville, MD

PERMITTED SIGN DIMENSIONS

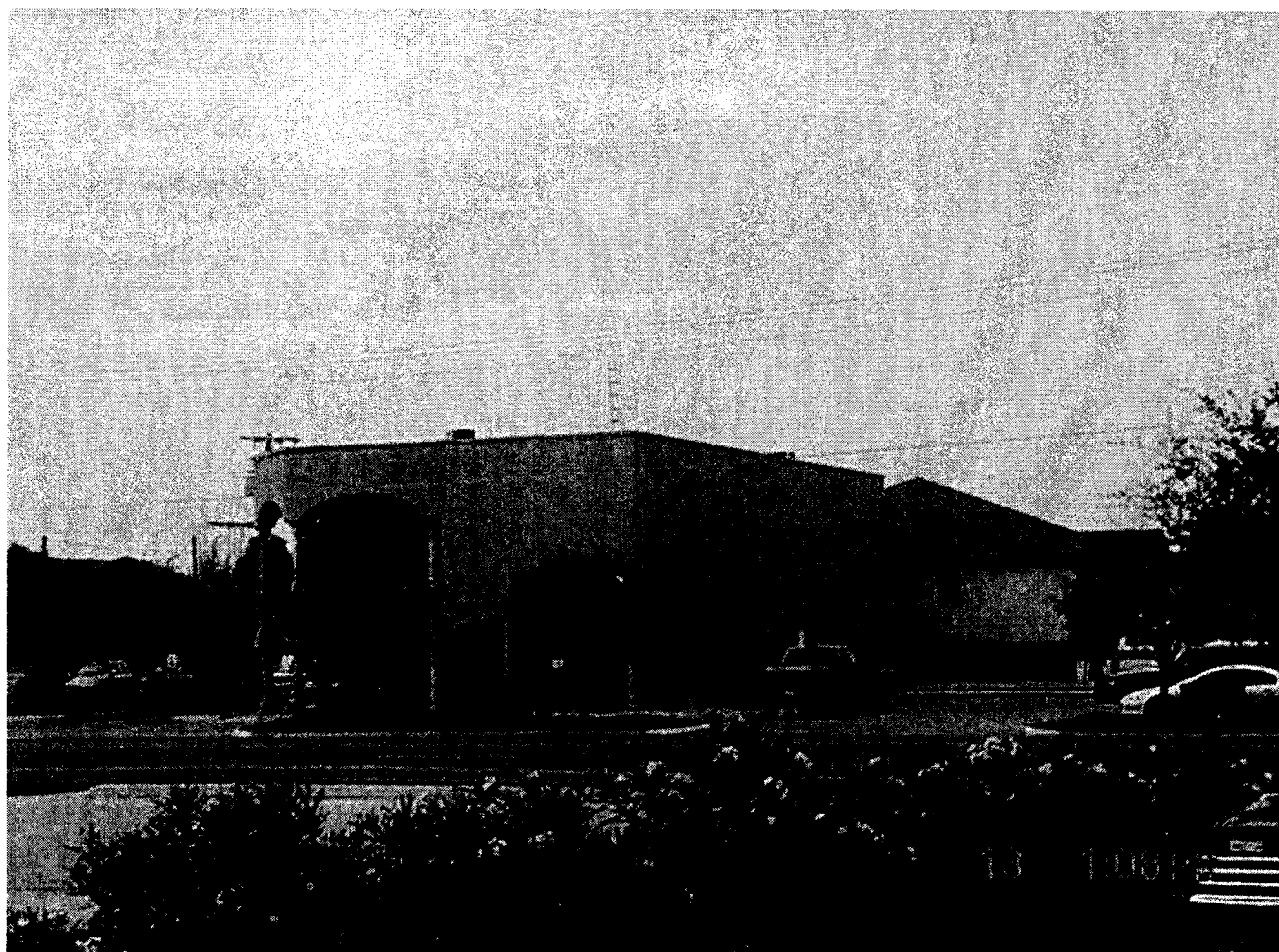
PERMIT REQ.	RESIDENTIAL DISTRICTS								DEF NO.	FREESTANDING	TIME LIMIT (IN DAYS)	NON-RESIDENTIAL DISTRICTS							
	AG	R-1	R-1A	R-2	R-3	RSM	RS	R-O		ON-PREMISE (DENOTING SIGN AREA IN SQ. FT.) (SIGN AREA DEFINED IN APPENDIX A)		B-1	B-1R	CBD	B-3	B-4	M-1	M-2	MXD
Y	72	12*	12*	12*	12*			30	q	IN GENERAL, UNLESS NOTED BELOW	NONE	40	30	72	100 a*	b*	b*	*b	200
N	2	2	2	2	2	2	2	2	a	ADDRESS	NONE	2	2	2	2	2	2	2	2
N	4	4	4	4	4			4	g	BLDG. MARKER	NONE	4	4	4	4	4	4	4	4
Y	15	6*	6*	6*	6*			6*	i	CHANGEABLE COPY	NONE	15	15	15**	15**	15**	30	30	30
N	32	32	32	32	32	32	32	32	k	CONSTRUCTION	5 AFTER COMPLETION	32	32	32	32	32	32	32	32
N	4	4*	4*	4*	4*			4	l	DIRECTIONAL	NONE	8"	8	8"	8"	8"	10"	10"	10"
Y									n	FLASHING	NONE			62	90	190	190	190	190
N	36	12	12	12	12	12	12	12	p	FOR SALE, RENT. LEASE	5 AFTER RENT/SALE/LEASE	24	24	24	24	36	36	36	36
Y									t	MESSAGE CENTER	NONE			100	150	250	350	350	350
Y	82	22*	22*	50*	50*			40	u	MONUMENT	NONE	50	40	82	110	210	210	210	210
N	no limit	no limit	no limit	no limit	no limit	no limit	no limit	no limit	bb	POLITICAL (allowable in all districts with no area or height limitation)	10 AFTER ELECTION SUPP.(9)	no limit	no limit	no limit	no limit	no limit	no limit	no limit	no limit
Y	40	40	40	40	40	40	40	40	gg	SUBDIVISION ENTRANCE	NONE	40	40	40	40				
Y	100							40	s	MULTI-TENANT COMPLEX	NONE	100	100	150	300	400	500	500	500
									cc	PORTABLES	0 / YEAR								
	50	5	5	5	5	5	5	8		MAXIMUM HT. (IN FEET)		15	15	15	50	50	50	50	50
	10	5	5	5	5	5	5	5		SETBACK FROM PROPERTY LN. Δ (IN FEET)		5	5	2	5	10	10	10	10

LEGEND

*	PERMITTED FOR CHURCH, PARK, RECREATIONAL FACILITY, SCHOOL, LIBRARY, ART GALLERY, APT. COMPLEX OF 40 UNITS OR MORE OR CULTURAL FACILITY ONLY
**	REFER TO Section 24.82.5(15)
Δ	NO SIGN SHALL BE PERMITTED WITHIN THE INTERSECTION VISIBILITY TRIANGLE
a*	100 square feet for the first 50 feet of lot frontage plus one square foot per linear foot of lot frontage up to a maximum of 200 square feet.
b*	1. For properties located adjacent to Interstate, US and State Highways; 200 square feet for the first 100 feet of street frontage plus 1.5 square feet per linear foot of street frontage over 100 feet up to a maximum of 1200 square feet, provided the total allowable area of on-premises signage shall be reduced by one square foot for each square foot of free-standing off-premises signage located on the same premises. (97-0-21) 2. For properties not adjacent to Interstate, US and State Highways; 200 square feet.
"	Per driveway curb cut. (Amended Ord. #97-0-21, 1/27/97)
	NOT PERMITTED



ZC-89-03



ZC-89-03

)

)

)

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning 0.05 acres, as further described by metes and bounds in attached Exhibit "A", located northwest of the intersection of Loop 20 and the Texas Mexican Railroad Right-Of-Way, from R-1 (Single Family Residential District) to B-4 (Highway Commercial District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. ZC-90-2003	
Initiated by: Texas Mexican Railroad Company		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND <p>Council District: II – Hector J. Garcia</p> <p>Proposed use: Billboard sign</p> <p>Site: The site is currently vacant.</p> <p>Surrounding land uses: The Texas Mexican rail yard lies to the north, Loop 20 to the east, the Texas Mexican Railroad R.O.W. to the south and west.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Warehouse/Light Industrial.</p> <p>Transportation Plan: The Long Range Thoroughfare Plan identifies Loop 20 as a Major Arterial and a Truck Route.</p> <p>Letters sent to surrounding property owners: 1 In Favor: 1 Opposed: 0</p>		
STAFF COMMENTS <p>The proposed zone change is appropriate at this location. The proposed zone change is consistent with the Comprehensive Plan and the intensively commercial/industrial character of the area. Although surrounded by R-1 zoned area, B-4 classification is the more appropriate designation considering the site's proximity to Loop 20, the rail-yard and the existing rail-line.</p> <p>Note: The site is still subject to all off-premise signage location requirements.</p>		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 5 to 0 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-4 (Highway Commercial District): The purpose of the B-4 District is to provide for those businesses and services serving a regional area which are to be located primarily along principle (major) arterial streets of the freeway, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily along principle arterial streets or the freeway and to impose site development regulations to ensure adequate access of all uses within this classification.

Is this change contrary to the established land use pattern?

No, the area directly north is used for warehousing and industrial type uses.

Would this change create an isolated zoning district unrelated to surrounding districts?

Yes, the area is surrounded by R-1 zoning.

Will change adversely influence living conditions in the neighborhood?

N/A.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the current zoning allows for uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING 0.05 ACRES, AS FURTHER DESCRIBED BY METES AND BOUNDS IN ATTACHED EXHIBIT "A", LOCATED NORTHWEST OF THE INTERSECTION OF LOOP 20 AND THE TEXAS MEXICAN RAILROAD RIGHT-OF-WAY, FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO B-4 (HIGHWAY COMMERCIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of 0.05 acres, as further described by metes and bounds in attached Exhibit "A", located northwest of the intersection of Loop 20 and the Texas Mexican Railroad Right-Of-Way, from R-1 (Single Family Residential District) to B-4 (Highway Commercial District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning 0.05 acres, as further described by metes and bounds in attached Exhibit "A", located northwest of the intersection of Loop 20 and the Texas Mexican Railroad Right-Of-Way, from R-1 (Single Family Residential District) to B-4 (Highway Commercial District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

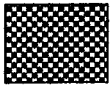
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



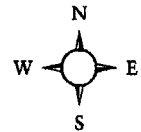
**Rezone from R-1 (Single Family Residential District)
To B-4 (Highway Commercial District)**

LOCATION: West of Bob Bullock Lp. and North of Tex-Mex Railroad

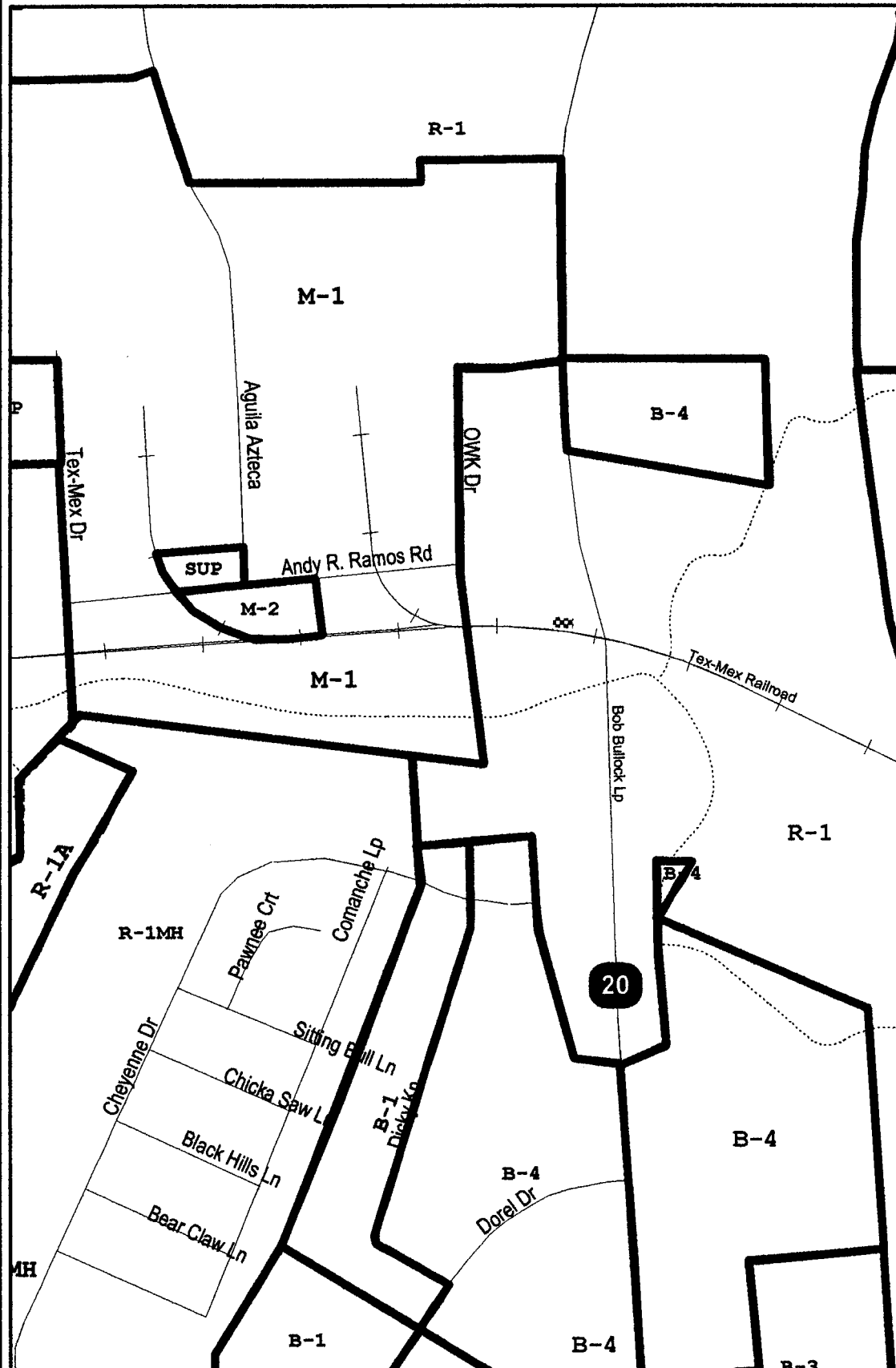
ZC - 90 - 2003

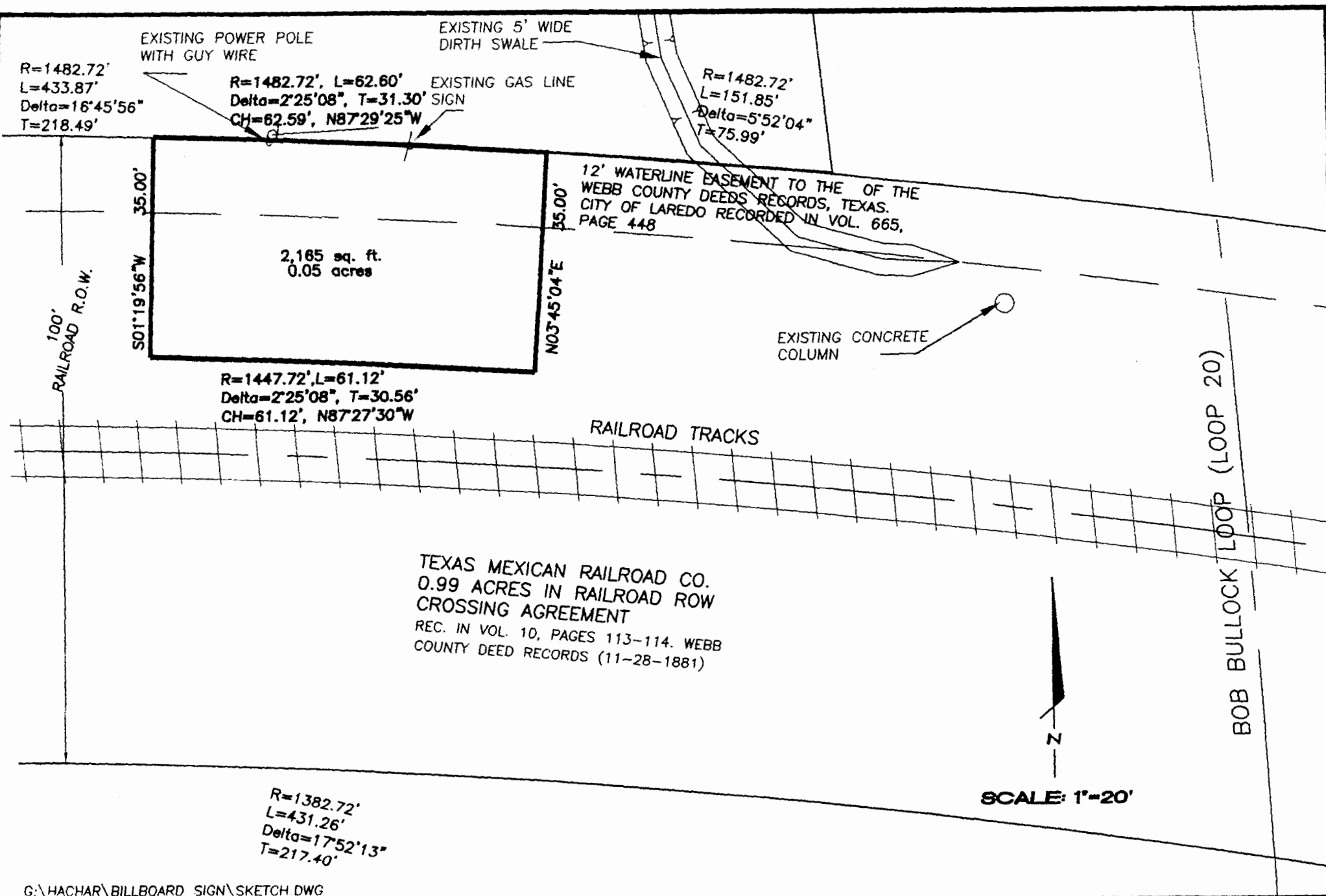
City of Laredo
Planning Department
Feet

500



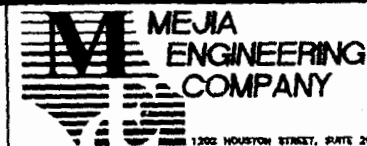
City of Laredo
Zoning Map





G:\HACHAR\BILLBOARD SIGN\SKETCH DWG

A TRACT OF LAND CONTAINING 0.050 ACRES MORE OR LESS, SITUATED IN THE CITY OF LAREDO, WEBB COUNTY, TEXAS BEING OUT OF 265 ACRES OF LAND KNOWN AS CERTIFICATE No. 31, SAID 265 ACRES BEING TEXAS-MEXICAN RAILROAD COMPANY RIGHT-OF-WAY AS RECORDED IN VOLUME 10, PAGES 113-114, WEBB COUNTY DEED RECORDS.



LEGAL DESCRIPTION
0.050 ACRE TRACT

A TRACT OF LAND CONTAINING 0.050 ACRES, MORE OR LESS, SITUATED IN THE CITY OF LAREDO, WEBB COUNTY, TEXAS, BEING OUT OF 265 ACRES OF LAND KNOWN AS CERTIFICATE NO. 31, SAID 265 ACRES BEING TEXAS-MEXICAN RAILROAD COMPANY RIGHT-OF-WAY AS RECORDED IN VOLUME 10, PAGES 113-114, WEBB COUNTY DEED RECORDS. SAID 0.050 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

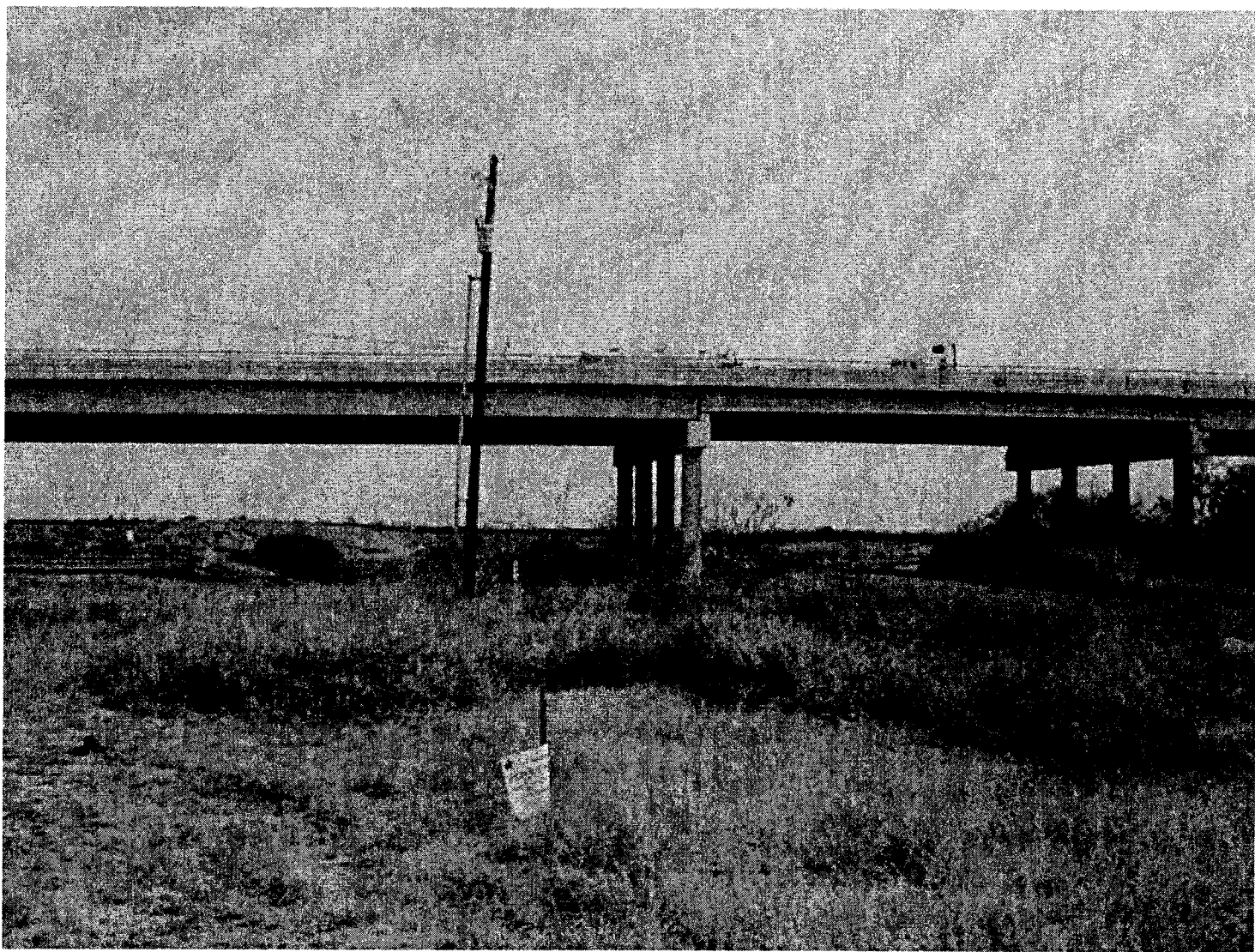
BEGINNING AT A POINT WHICH BEARS N 27°31'09" E, A DISTANCE OF 72.85 FEET FROM A ½ INCH IRON ROD FOUND ALONG THE TEXAS-MEXICAN RAILROAD COMPANY SOUTH RIGHT-OF-WAY LINE (100' WIDE) AT INTERSECTION WITH BOB BULLOCK LOOP (LOOP 20) WEST RIGHT-OF-WAY LINE FOR "THE POINT OF BEGINNING" OF THIS TRACT;

THENCE, N 01°19'56" E, A DISTANCE OF 35.00 FEET TO A POINT ON THE TEXAS-MEXICAN RAILROAD COMPANY NORTH RIGHT-OF-WAY LINE FOR A POINT OF CURVATURE OF A CURVE, HAVING A RADIUS 1,482.72 FEET, AN ARC LENGTH OF 62.60, A DELTA OF 02°25'08", AND A CHORD BEARING OF N 87°29'25", A DISTANCE OF 62.59 FEET, FOR AN EXTERIOR CORNER OF THIS TRACT;

THENCE, ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 62.60 FEET FOR AN EXTERIOR CORNER OF THIS TRACT;

THENCE, S 03°45'04" W, A DISTANCE OF 35.00 FEET TO A POINT OF CURVATURE OF A CURVE, HAVING A RADIUS OF 1,447.72 FEET, AN ARC LENGTH OF 61.12 FEET, A DELTA OF 02°25'08", AND A CHORD BEARING OF N 87°27'30" W, A DISTANCE OF 61.12 FEET, FOR AN EXTERIOR CORNER OF THIS TRACT;

THENCE, ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 61.12 FEET TO RETURN TO AND CLOSE AT "THE POINT OF BEGINNING" AND CONTAINING A TOTAL OF 0.050 ACRES, MORE OR LESS WITHIN THE CONFINES OF THE ABOVE DESCRIBED TRACT.



ZC-90-2003

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning 2.00 acres, as further described by metes and bounds in attached Exhibit "A", located west of South Lucy Ave. and south of Cassata Lane, from R-1 (Single Family Residential District) to R-1A (Single Family Reduced Area District); providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed zone change. ZC-91-2003	
Initiated by: Juan Salinas		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND Council District: I – Alfredo Agredano Proposed use: Residential Site: The site is currently vacant. Surrounding land uses: The site is surrounded by single family residential uses while including a church and Sigifredo Perez Elementary School to the south and southeast. Comprehensive Plan: The Future Land Use Map recognizes this area as Medium Density Residential. Transportation Plan: The Long Range Thoroughfare Plan identifies Sierra Vista Blvd. as a Minor Arterial. Letters sent to surrounding property owners: 35 In Favor: 0 Opposed: 0		
STAFF COMMENTS The proposed zone change is inappropriate at this location. The entire area bounded by Moon Lane, Los Fresnos Loop, Elizondo Drive and S. Lucy Ave has thus far maintained clear and definite zoning boundary lines with little or no introduction of incongruous zoning. Furthermore, the reduced lots allowed by the proposed change would be discordant with the developed lots to the north and west.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 3 to 2 vote, recommended denial of the zone change.		STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

R-1A (Single Family Reduced Area District): The purpose of the R-1A District is to provide for residential uses and those public uses normally considered an integral part of the residential neighborhood they serve. In addition, this district provides for the subdivision of single family residential lots with a minimum of 4500 square feet.

Is this change contrary to the established land use pattern?

No, the entire area is residential.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, both R-1 and R-1A districts abut the site.

Will change adversely influence living conditions in the neighborhood?

N/A.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the current zoning allows for uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING 2.00 ACRES, AS FURTHER DESCRIBED BY METES AND BOUNDS IN ATTACHED EXHIBIT "A", LOCATED WEST OF SOUTH LUCY AVE. AND SOUTH OF CASSATA LANE, FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO R-1A (SINGLE FAMILY REDUCED AREA DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of 2.00 acres, as further described by metes and bounds in attached Exhibit "A", located west of South Lucy Ave. and south of Cassata Lane, from R-1 (Single Family Residential District) to R-1A (Single Family Reduced Area District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning 2.00 acres, as further described by metes and bounds in attached Exhibit "A", located west of South Lucy Ave. and south of Cassata Lane, from R-1 (Single Family Residential District) to R-1A (Single Family Reduced Area District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

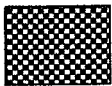
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



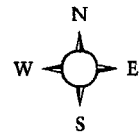
**Rezone from R-1(Single Family Residential Distrct)
To R-1A (Single Family Reduced Area District)**

LOCATION: Puscas Crt.

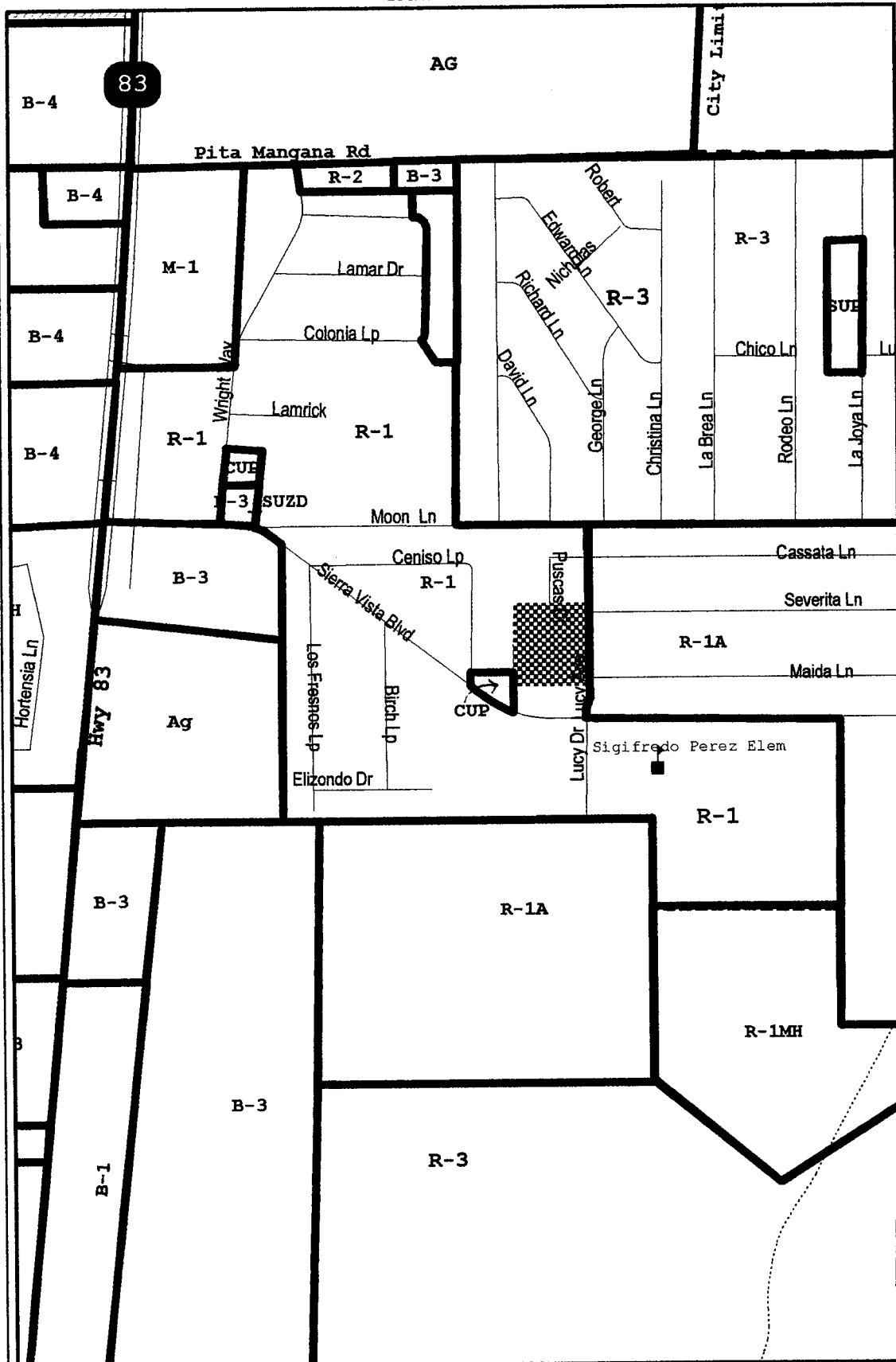
ZC - 91 - 2003

City of Laredo
Planning Department
Feet

500



**City of Laredo
Zoning Map**



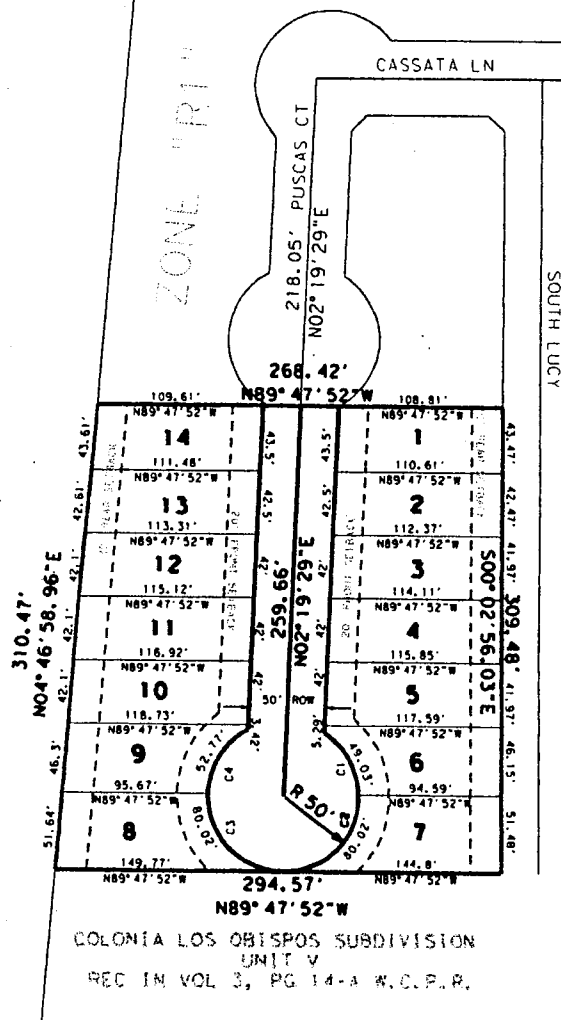


SCALE 1"=100'

COLONIA LOS OBISPOS SUBDIVISION
UNIT V
REC IN VOL 3, PG 14-A W.C.P.R.

MOON TRACT
UNIT I
REC IN VOL 3, PG 14-A W.C.P.R.

ZONE "R1"



COLONIA LOS OBISPOS SUBDIVISION
UNIT V
REC IN VOL 3, PG 14-A W.C.P.R.

LOT TABLE

NUMBER	SIZE
1	4769.00
2	4734.93
3	4752.62
4	4825.63
5	4898.63
6	4774.62
7	5410.59
8	5566.47
9	4758.47
10	4945.19
11	4869.34
12	4793.49
13	4773.39
14	4805.35

MOON TRACT
REZONE FROM "R1" TO "R1A"

2.00 ACRE TRACT OUT OF
"MOON TRACT"
REC VOL 686 PG 426-427
W.C.D.R.

A-2-Z
ENGINEERING COMPANY
2003 CLAYTON RD. #100
LAKEOCE TEXAS 77856
OFFICE: (954) 337-3528
E-MAIL: JON@A2ZINC.COM

DOC#: 816038

Recorded
NOV. 10, 2003 AT 08:14AMSigned: 
MARGIE R. IBARRA
COUNTY CLERK

Fee Amount: \$20.00

SCALE 1"=50'
DATE 02-08-96COLONIA LOS OBISPOS SUBDIVISION
UNIT VBLOCK 1
LOT 50MYRLANE RANCH
REC. IN VOL. 2, PG. 235
W.C.D.R.
PORCION 36BLOCK 6
LOT 1

S 89° 47' 52" W 288.42'

2.0 ACRES

MOON TRACT

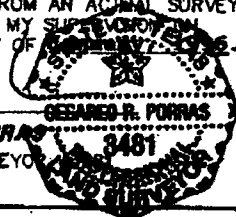
N 00° 02' 56" W 309.48'

N 89° 47' 52" E 294.59'

MYRLANE RANCH
REC. IN VOL. 2, PG. 235
W.C.D.R.
PORCION 36COLONIA LOS OBISPOS SUBDIVISION
UNIT VI HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND
CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY
OF THE PROPERTY MADE UNDER MY SUPERVISION ON
THE GROUND THIS 25th DAY OF FEBRUARY 2003.

CESAREO R. PORRAS

PROFESSIONAL LAND SURVEYOR



PORRAS ENGINEERING CO.

P.O. BOX 1870
78044ENGINEERS - SURVEYORS
LAREDO, TEXASOFF. 724-3097
HOME 724-7397

SURVEY OF

A
2.0000 ACRE TRACT OUT OF
"MOON TRACT"
(REC. IN VOL. 888, PAGES 426-427 W.C.D.R.)
PORCION 36
CITY OF LAREDO
WEBB COUNTY, TEXAS

Form: Commitment for Title Insurance
1/1/93GF Number: 2316992
Form Prescribed by Texas Department of Insurance (Revised)

SCHEDULE A

GF No. or File No.: 2316992

Effective Date of Commitment: September 24, 2003

4:00 P.M.

Closer: Evan Gutierrez

Issued: October 16, 2003

8:00 A.M.

1. The policy or policies to be issued are:

(a) OWNER POLICY OF TITLE INSURANCE (Form T-1)
(Not applicable for improved one-to-four family residential real estate)

Policy Amount:

PROPOSED INSURED:

(b) TEXAS RESIDENTIAL OWNER POLICY OF TITLE INSURANCE
-ONE-TO-FOUR FAMILY RESIDENCES (Form T-1 R)

Policy Amount:

PROPOSED INSURED: Juan Salinas

(c) MORTGAGEE POLICY OF TITLE INSURANCE (Form T-2)

Policy Amount:

PROPOSED INSURED: The Laredo National Bank

Proposed Borrower:

Juan Salinas

(d) MORTGAGEE TITLE POLICY BINDER ON INTERIM CONSTRUCTION LOAN (Form T-13)

Binder Amount:

PROPOSED INSURED:

Proposed Borrower:

(e) OTHER

Policy Amount:

PROPOSED INSURED:

2. The interest in the land covered by this Commitment is:

Fee Simple

3. Record title to the land on the Effective Date appears to be vested in:

Virginia F. Netzer (Subject to Requirements)

EXHIBIT A

4. Legal description of land:

2.0 acres of land, more or less, out of a 36.81 acre tract situated in Porcion 36, Laureano Salinas, Original Grantee, Abstract 473, said 36.81 acre tract being all of Survey 11 of the S. N. Johnson Subdivision, and also known as the Squires Tract as described in deed dated March 1, 1913, from S. N. Johnson to T. W. Moon and wife, J. Frances Moon, recorded in Volume 61, Page 362 of the Deed Records of Webb County, Texas, and in a deed dated June 10, 1920 from S. N. Johnson to Julia F. Moon, recorded in Volume 74, Page 313, of the Deed Records of Webb County, Texas this 2.0 acre tract being more particularly described as follows, to-wit:

Schedule A of this Commitment consists of 2 page(s).

Title Resources Guaranty Company

EXHIBIT "A"

GF Number: 2316002

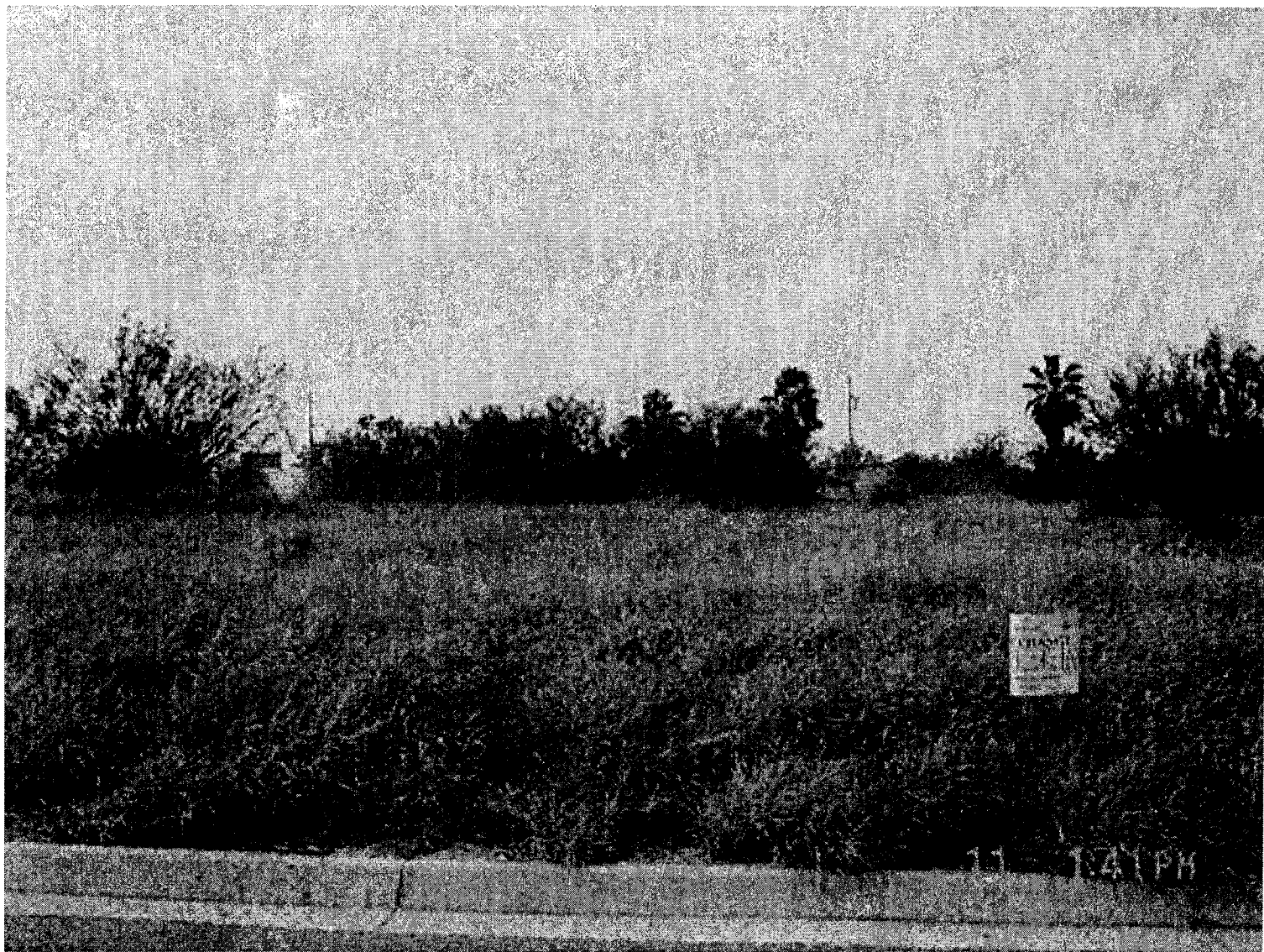
BEGINNING at a fence corner, an interior corner of the Myrlane Ranch and the southwest corner of Moon Tract and this tract;

THENCE N. $05^{\circ}24'06''$ E. 324.27 feet with fence and an interior eastline of the Myrlane Ranch and west line of the Moon Tract to the northwest corner of this tract;

THENCE N. $89^{\circ}42'38''$ E. 270.0 feet to the northeast corner of this tract;

THENCE S. $05^{\circ}24'06''$ W. 324.27 feet to the southeast corner of this tract on an interior north line of the Myrlane Ranch and the south line of the Moon Tract;

THENCE S. $89^{\circ}42'38''$ W. 270.0 feet with fence and south line of the Moon Tract and interior north line of the Myrlane Ranch to the Place of Beginning.



ZC-91-03

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning 219.26 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from R-1 (Single Family Residential District), and M-1 (Light Manufacturing District) to R-1A (Single Family Reduced Area District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. ZC-94-2003	
Initiated by: Fasken, Ltd.		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND <p>Council District: VII – Jose A. Valdez, Jr.</p> <p>Proposed use: Residential</p> <p>Site: The site is currently vacant.</p> <p>Surrounding land uses: The site is surrounded by vacant and undeveloped land with the exception of Bob Bullock Loop to the north, International Bridge IV to the northwest, Mines Road and a fire station to the east, and several large areas of single family residential development to the south.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Warehouse/Light Industrial.</p> <p>Transportation Plan: The Long Range Thoroughfare Plan identifies Loop 20 as a Major Arterial and a Truck Route and Mines Road as Truck Route and a Super Street at this location.</p> <p>Letters sent to surrounding property owners: 137 In Favor: 1 Opposed: 0</p>		
STAFF COMMENTS <p>The proposed zone change is appropriate at this location. Though inconsistent with the Comprehensive Plan's Retail/Office and Warehouse/Light Industrial designation, the change is consistent with the area's proposed master plan, the area's proposed and existing zoning designations and the existing large single family residential developments to the south.</p>		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 5 to 0 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

R-1A (Single Family Reduced Area District): The purpose of the R-1A District is to provide for residential uses and those public uses normally considered an integral part of the residential neighborhood they serve. In addition, this district provides for the subdivision of single family residential lots with a minimum of 4500 square feet.

Is this change contrary to the established land use pattern?

No, there already exist several large residential developments to the south of this tract.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the proposed zoning will be congruent to existing and proposed districts.

Will change adversely influence living conditions in the neighborhood?

N/A.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the current zoning allows for uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING 219.26 ACRES, AS FURTHER DESCRIBED BY METES AND BOUNDS IN ATTACHED EXHIBIT "A", LOCATED AT THE WEST OF MINES ROAD AND SOUTH OF BOB BULLOCK LOOP, FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT), AND M-1 (LIGHT MANUFACTURING DISTRICT) TO R-1A (SINGLE FAMILY REDUCED AREA DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of 219.26 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from R-1 (Single Family Residential District), and M-1 (Light Manufacturing District) to R-1A (Single Family Reduced Area District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning 219.26 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from R-1 (Single Family Residential District), and M-1 (Light Manufacturing District) to R-1A (Single Family Reduced Area District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

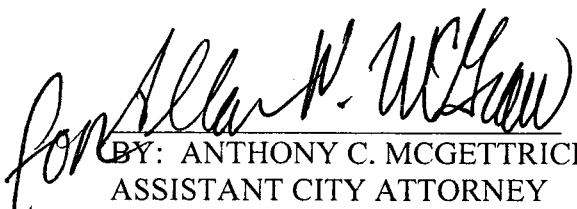
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

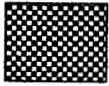
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



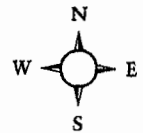
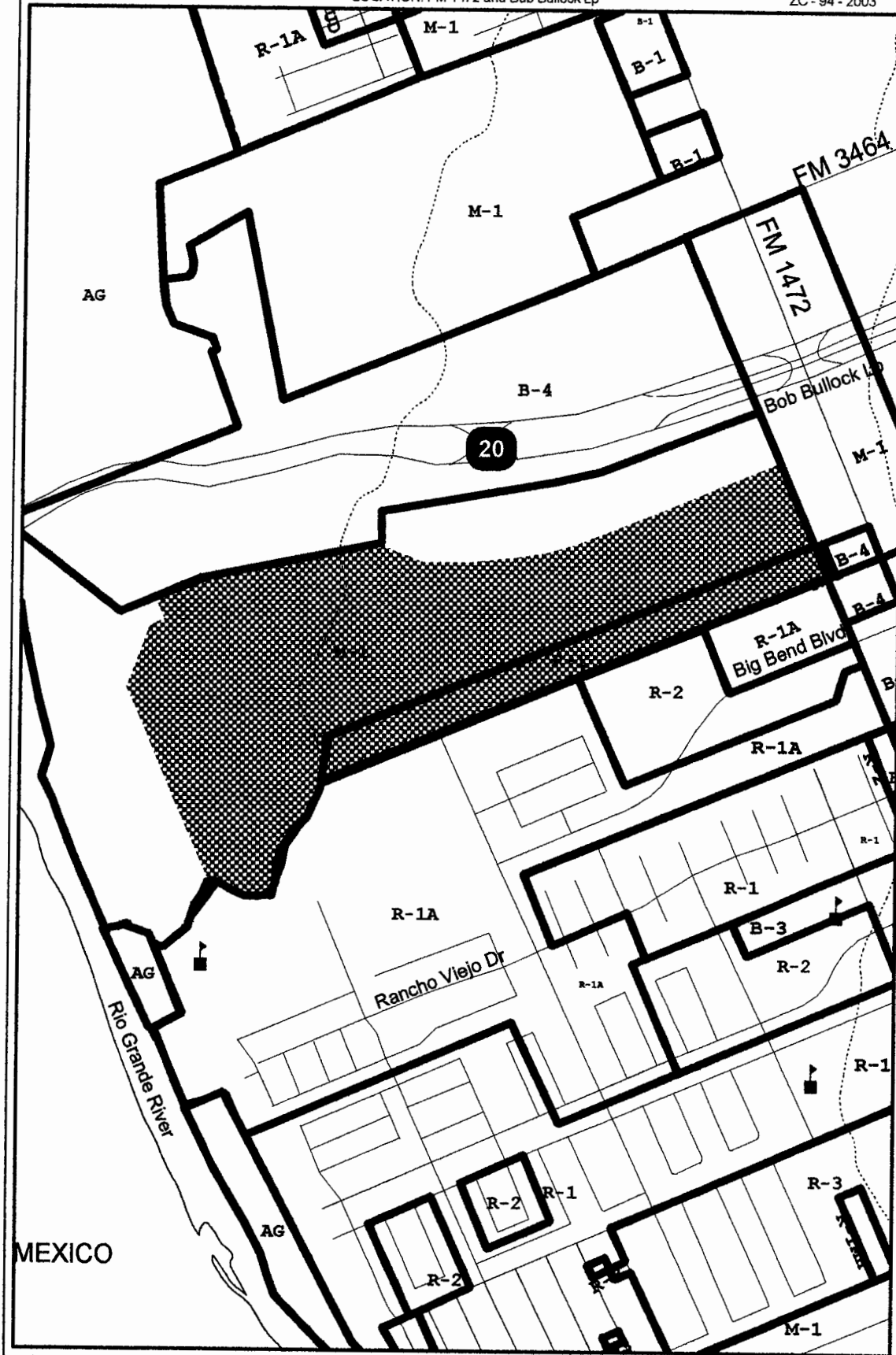
**Rezone from R-1 (Single Family Residential District)
and M-1 (Light Manufacturing District)
To R-1A (Single Family Reduced Area District)**

LOCATION: FM 1472 and Bub Bullock Lp

ZC - 94 - 2003

City of Laredo
Planning Department
Feet

1200



**City of Laredo
Zoning Map**



R-1A
219.2677 ACRES

LEGAL DESCRIPTION OF A 219.2677 ACRE PARCEL OF LAND OUT OF A 362.7216 ACRE PARCEL OF LAND AS DESCRIBED IN THE SURVEY MAP RG-10-2003-ESWQ OUT OF A 1530.61 ACRE PARCEL OF LAND, BEING SITUATED IN PORCION 20, ABSTRACT 48, ORIGINAL GRANTEE BAUTISTA GARCIA AND PORCION 21, ABSTRACT 49, ORIGINAL GRANTEE LEONARDO GARCIA AND SURVEY 2415, F. AND I. FARIAS ORIGINAL GRANTEES, RECORDED ON THE DATE OF FEBRUARY 13, 1996, IN VOLUME 382, PAGES 899 THRU 904, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS.

Commencing at a found concrete monument situated on the west line of F.M. 1472 Right-of-Way recorded in Volume 406, Page 73, Deed Records of Webb County, Texas, being the northeast corner of Bustamante Tract, recorded in Volume 380, Page 534, Deed Records of Webb County, Texas; Thence, S67°45'34"W, along the common division line of said 362.7216 acre parcel and said Bustamante Tract, a distance of 308.42 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G" being the northwest corner of said Bustamante Tract and northeast corner of Deerfield-Phase IV recorded in Volume 18, Page 28 and, Plat Records of Webb County, Texas; Thence, S67°33'33"W, along the common division line of said 362.7216 acre parcel and said Deerfield-Phase IV Plat, a distance of 21.58 feet for the **POINT OF BEGINNING** of this 219.2677 acre parcel and the **most easterly corner** hereof;

Thence, S67°33'33"W, along the common division line of herein described parcel and said Deerfield-Phase IV Plat, a distance of 1335.18 feet to a found 1/2 inch iron rod being the northwesterly corner of said Deerfield-Phase IV Plat and the northeasterly corner of Deerfield-Phase VI recorded in Volume 18, Page 37, Plat Records of Webb County, Texas, continuing on the same bearing and along the common division line of herein described parcel and said Deerfield-Phase VI Plat, a distance of 387.31 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G", for a point of deflection hereof;

Thence, S67°44'43"W, along the common division line of herein described parcel and said Deerfield-Phase VI Plat, a distance of 22.67 feet to a found concrete monument being the northwesterly corner of said Deerfield-Phase VI Plat and the northeasterly corner of Deerfield-Phase IV-Replat recorded in Volume 22, Page 43, Plat Records of Webb County, Texas, continuing on the same bearing and along the common division line of herein described parcel and said Deerfield-Phase IV-Replat, a distance of 260.00 feet to a found 1/2 inch iron rod being the northwesterly corner of said Deerfield-Phase IV-Replat and the northeasterly corner of Deerfield-Phase I recorded in Volume 14, Page 59, Plat Records of Webb County, Texas, continuing on the same bearing and along the common division line of herein described parcel and said Deerfield-Phase I Plat, a distance of 442.75 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G", for a point of deflection hereof;

Thence, S67°50'25"W, along the common division line of herein described parcel and said Deerfield-Phase I Plat, a distance of 729.09 feet to a found concrete monument being the northwesterly corner of said Deerfield-Phase I Plat and the northeasterly corner of Deerfield-Phase II recorded in Volume 17, Page 48, Plat Records of Webb County, Texas, continuing on the same bearing and along the common division line of herein described parcel and said Deerfield-Phase II Plat, a distance of 732.53 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G", for a point of deflection hereof;

Thence, S68°04'54"W, along the common division line of herein described parcel and said Deerfield-Phase II Plat, a distance of 545.46 feet to a found 1/2 inch iron rod being the northwesterly corner of said Deerfield-Phase II Plat and the northeasterly corner of Deerfield Land Development, L.C. recorded in Volume 499, Page 271, Official Public Records of Webb County, Texas, continuing on the same bearing and along the common division line of herein described parcel and said Deerfield Land Development Tract, a distance of 205.86 feet, for a point of deflection hereof;

Thence, along the following points of deflection for the common division line of herein described parcel and said Deerfield Land Development Tract:

S28°16'49"W, a distance of 143.55 feet, for a point of deflection hereof;

S42°17'51"W, a distance of 212.86 feet, for a point of deflection hereof;

S00°16'41"W, a distance of 125.19 feet to a point being the most westerly corner of said Deerfield Land Development Tract and a northerly corner of Deerfield-UISD recorded in Volume 14, Page 74, Plat Records of Webb County, Texas, continuing on the same bearing and along the common division line of herein described parcel and said Deerfield-UISD Plat, a distance of 23.65 feet, for a point of deflection hereof;

Thence, along the following points of deflection for the common division line of herein described parcel and said Deerfield-UISD Plat:

S20°06'06"W, a distance of 92.97 feet, for a point of deflection hereof;
 S05°52'42"W, a distance of 239.42 feet, for a point of deflection hereof;
 N48°02'28"W, a distance of 100.87 feet, for a point of deflection hereof;
 N81°37'50"W, a distance of 170.65 feet for a point of deflection hereof;
 N58°11'16"W, a distance of 107.39 feet, for a point of deflection hereof;
 N62°56'28"W, a distance of 115.92 feet, for a point of deflection hereof;
 S43°55'05"W, a distance of 55.10 feet, for **most westerly southwest corner** hereof;

Thence, along the following points of deflection;

N50°56'48"W, a distance of 174.42 feet, for a point of deflection hereof;
 N22°15'17"W, a distance of 1896.27 feet, for a point of deflection hereof;
 N22°44'43"E, a distance of 514.39 feet, for a point of deflection hereof;

Thence, N67°44'43"E, a distance of 117.19 feet, for an interior corner hereof;

Thence, N22°15'17"W, a distance of 204.95 feet to a found ½ inch iron rod being the most southerly southwest corner of the International Bridge IV Property recorded in Volume 644, Page 799, Official Public Records of Webb County, Texas, for the **most northerly northwest corner** hereof;

Thence, along the following points of deflection for the common division line of herein described parcel and said International Bridge IV Property;

N74°16'06"E, a distance of 357.27 feet to a set ½ inch iron rod with yellow plastic cap marked "R&G", for a point of deflection hereof;
 N77°57'26"E, a distance of 310.31 feet to a set ½ inch iron rod with yellow plastic cap marked "R&G", for a point of deflection hereof;
 N79°07'52"E, a distance of 1,217.99 feet to a found ½ inch iron rod, for an exterior corner hereof;

Thence, along the following points of deflections:

S08°14'57"W, a distance of 29.10 feet, for a point of deflection hereof;
 S61°02'19"E, a distance of 178.60 feet, for a point of deflection hereof;
 S74°55'23"E, a distance of 199.76 feet, for a point of deflection hereof;
 S89°22'37"E, a distance of 1407.34 feet, for a point of curvature hereof;

Thence, along a curve to the left, with a chord bearing N79°06'18"E, 798.72 feet, subtended by an arc with a radius of 2,000.00 feet, a distance of 804.13 feet for a point of tangency hereof;

Thence, N67°35'12"E, a distance of 978.30 feet, for an exterior corner hereof;

Thence, S30°46'17"E, a distance of 50.54 feet, for a point of deflection hereof;

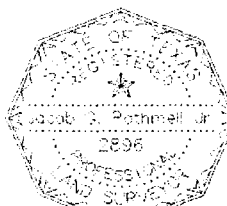
Thence, S22°26'27"E, a distance of 976.33 feet, for said **POINT OF BEGINNING**, containing within these metes and bounds 219.2677 acres of land, more or less.

BASIS OF BEARINGS: NAD 83/NAVD88, STATE PLANE 4205 COORDINATES, GRID

STATE OF TEXAS
 COUNTY OF WEBB

I, Jacob G. Rathmell Jr., the undersigned Registered Professional Land Surveyor, do hereby certify that the foregoing metes and bounds description is true and correct to my best knowledge and belief and was prepared under my direction and from office records available.

WITNESS MY HAND AND SEAL



Jacob Rathmell Jr.
 11/20/03

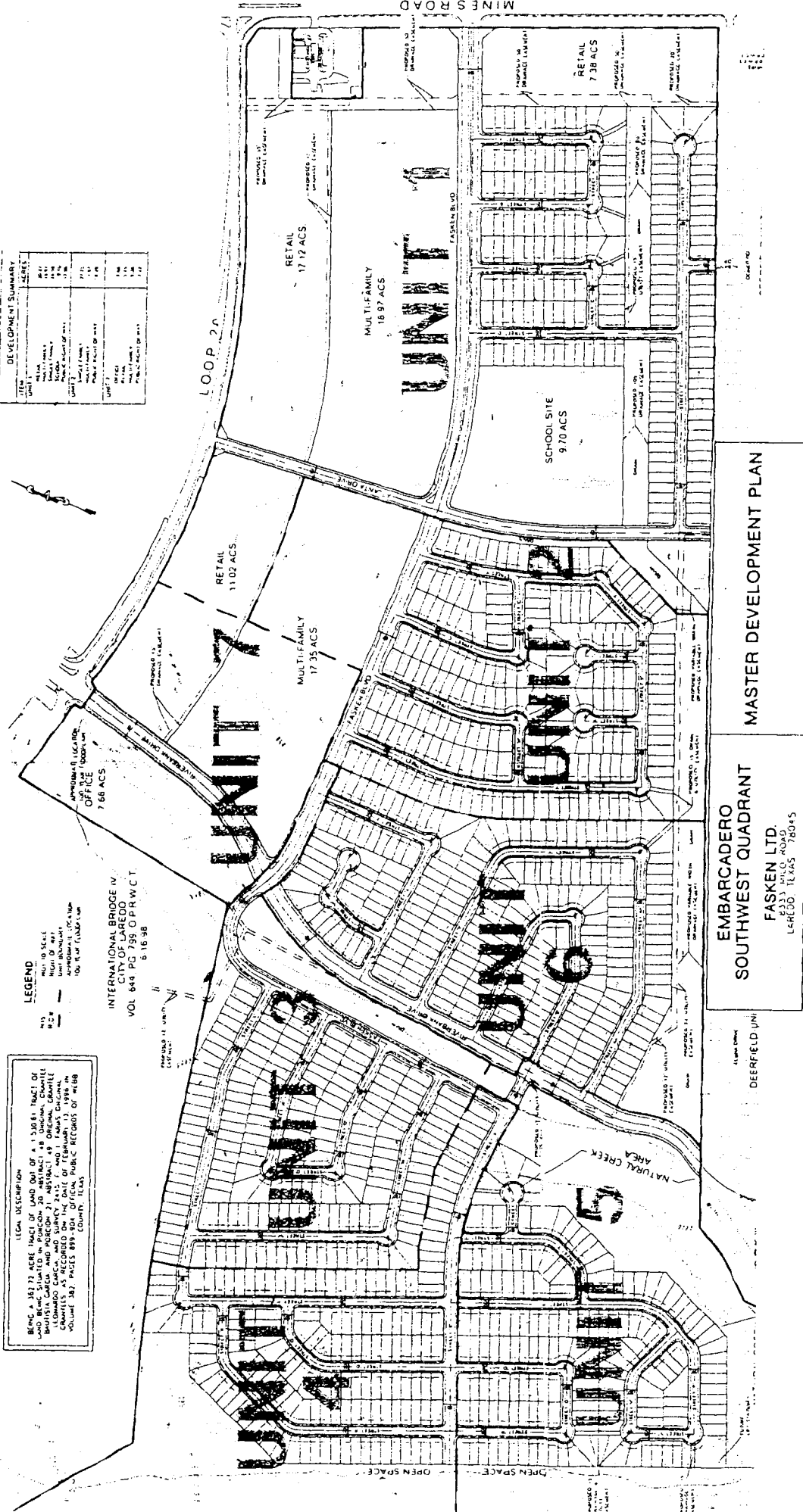
EXHIBIT "A"

LEGAL DESCRIPTION

BEING A 362.72 ACRE TRACT OF LAND OUT OF A 1,508.61 TRACT OF LAND BEING SITUATE IN PARCELS 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844,

100 mg per 1000
 A-MPHOMAX 100
 UNIT BRIMLEY
 HILL OF 100
 100 TO SCALE

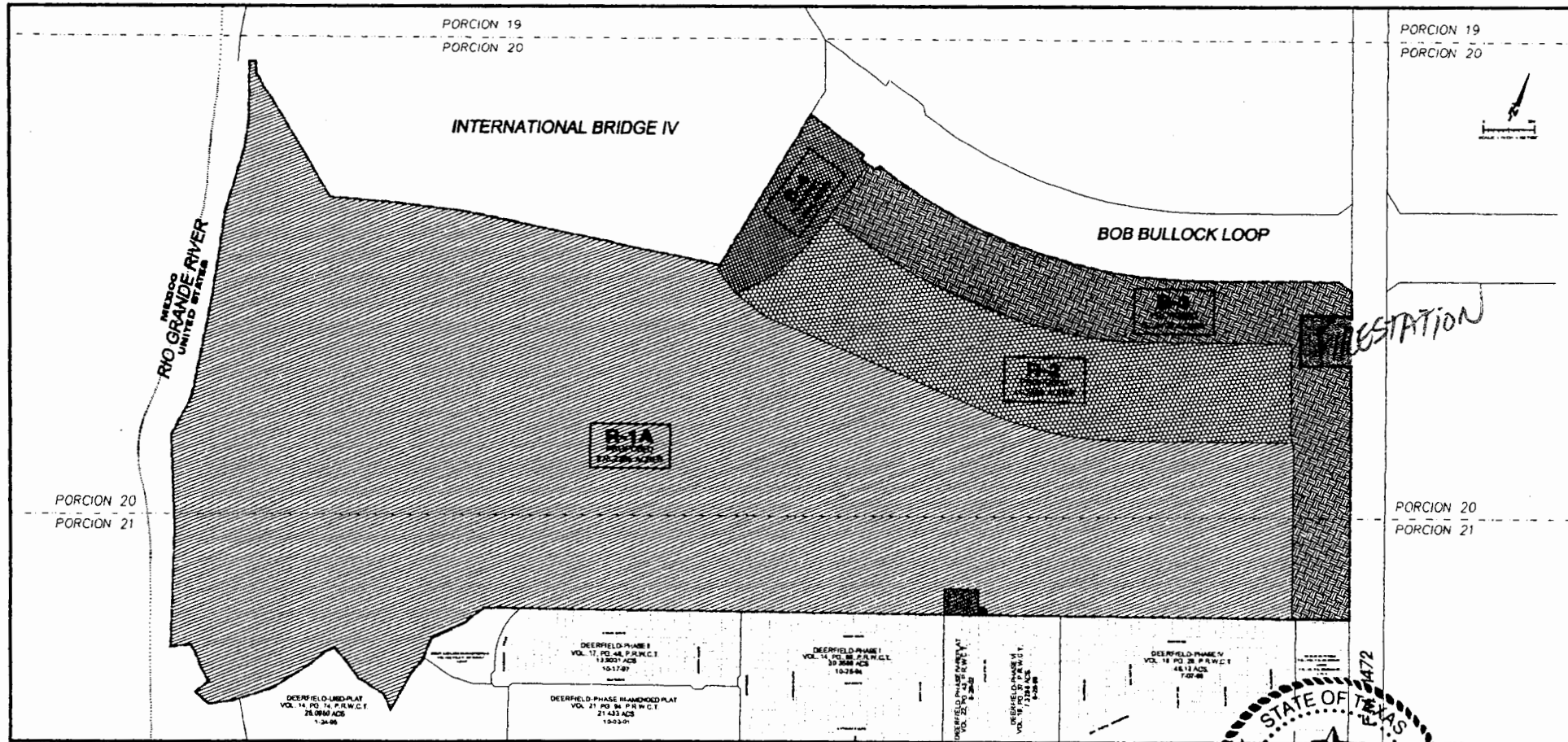
INTERNATIONAL BRIDGE IV
CITY OF LAREDO
VOL 644 PG 799 OPR WCT
6-16-98



PROPOSED ZONING LAYOUT

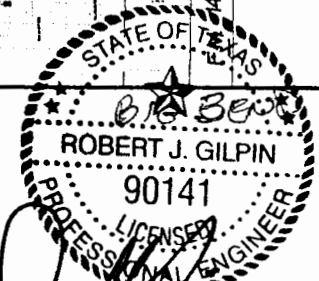
OF
A 362.7216 ACRE PARCEL OF LAND
OUT OF

A 1530.81 ACRE PARCEL OF LAND BEING SITUATED IN PORCION 20, ABSTRACT 48, ORIGINAL GRANTEE BAUTISTA GARCIA
AND PORCION 21, ABSTRACT 48, ORIGINAL GRANTEE LEONARDO GARCIA AND SURVEY 2415, F. AND I. FARIAS ORIGINAL GRANTEES,
AS RECORDED ON THE DATE OF FEBRUARY 13, 1990, IN VOLUME 382, PGS. 899 - 904, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS



LEGEND

	PROPOSED B-1A 275.2385 ACRES		PROPOSED B-3 37.3408 ACRES
	PROPOSED B-2 41.2499 ACRES		PROPOSED B-4 8.8924 ACRES



11-19-03



ZC-94-2003

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning 8.89 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to B-4 (Highway Commercial District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. ZC-95-2003	
Initiated by: Fasken, Ltd.		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND Council District: VII – Jose A. Valdez, Jr. Proposed use: Commercial Site: The site is currently vacant. Surrounding land uses: The site is surrounded by vacant and undeveloped land with the exception of Bob Bullock Loop to the north, International Bridge IV to the northwest, Mines Road and a fire station to the east, and several large areas of single family residential development farther to the south. Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Warehouse/Light Industrial. Transportation Plan: The Long Range Thoroughfare Plan identifies Loop 20 as a Major Arterial and a Truck Route and Mines Road as Truck Route and a Super Street at this location. Letters sent to surrounding property owners: 1 In Favor: 0 Opposed: 0		
STAFF COMMENTS The proposed zone change is appropriate at this location. The proposed change is consistent with the Comprehensive Plan's Retail/Office and Warehouse/Light Industrial designation, the area's proposed master plan, and the area's proposed and existing zoning designations.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 5 to 0 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

B-4 (Highway Commercial District): The purpose of the B-4 District is to provide for those businesses and services serving a regional area which are to be located primarily along principal (major) arterial streets or the freeway, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily along principal arterial streets or the freeway and to impose site development regulations to ensure adequate access of all uses within this classification.

Is this change contrary to the established land use pattern?

The land use pattern south of Bob Bullock Loop is still sparse aside from the Bridge and the fire station.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the proposed zoning will be congruent to existing and proposed districts.

Will change adversely influence living conditions in the neighborhood?

N/A.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the current zoning allows for uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING 8.89 ACRES, AS FURTHER DESCRIBED BY METES AND BOUNDS IN ATTACHED EXHIBIT "A", LOCATED AT THE WEST OF MINES ROAD AND SOUTH OF BOB BULLOCK LOOP, FROM M-1 (LIGHT MANUFACTURING DISTRICT) TO B-4 (HIGHWAY COMMERCIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of 8.89 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to B-4 (Highway Commercial District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning 8.89 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to B-4 (Highway Commercial District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

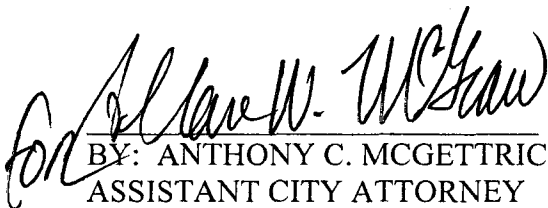
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

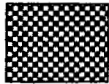
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



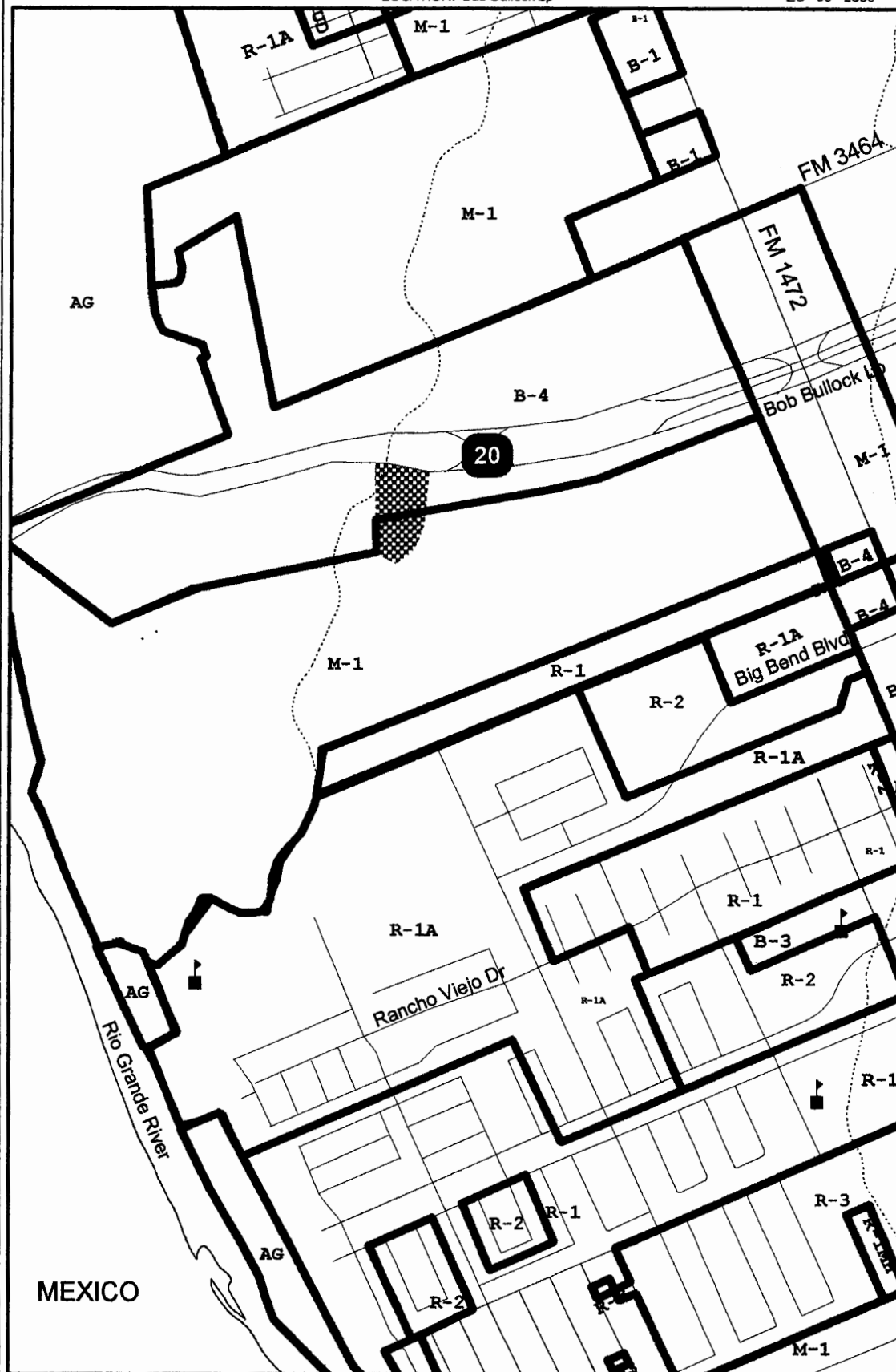
**Rezone from M-1 (Light Manufacturing District)
To B-4 (Highway Commercial District)**

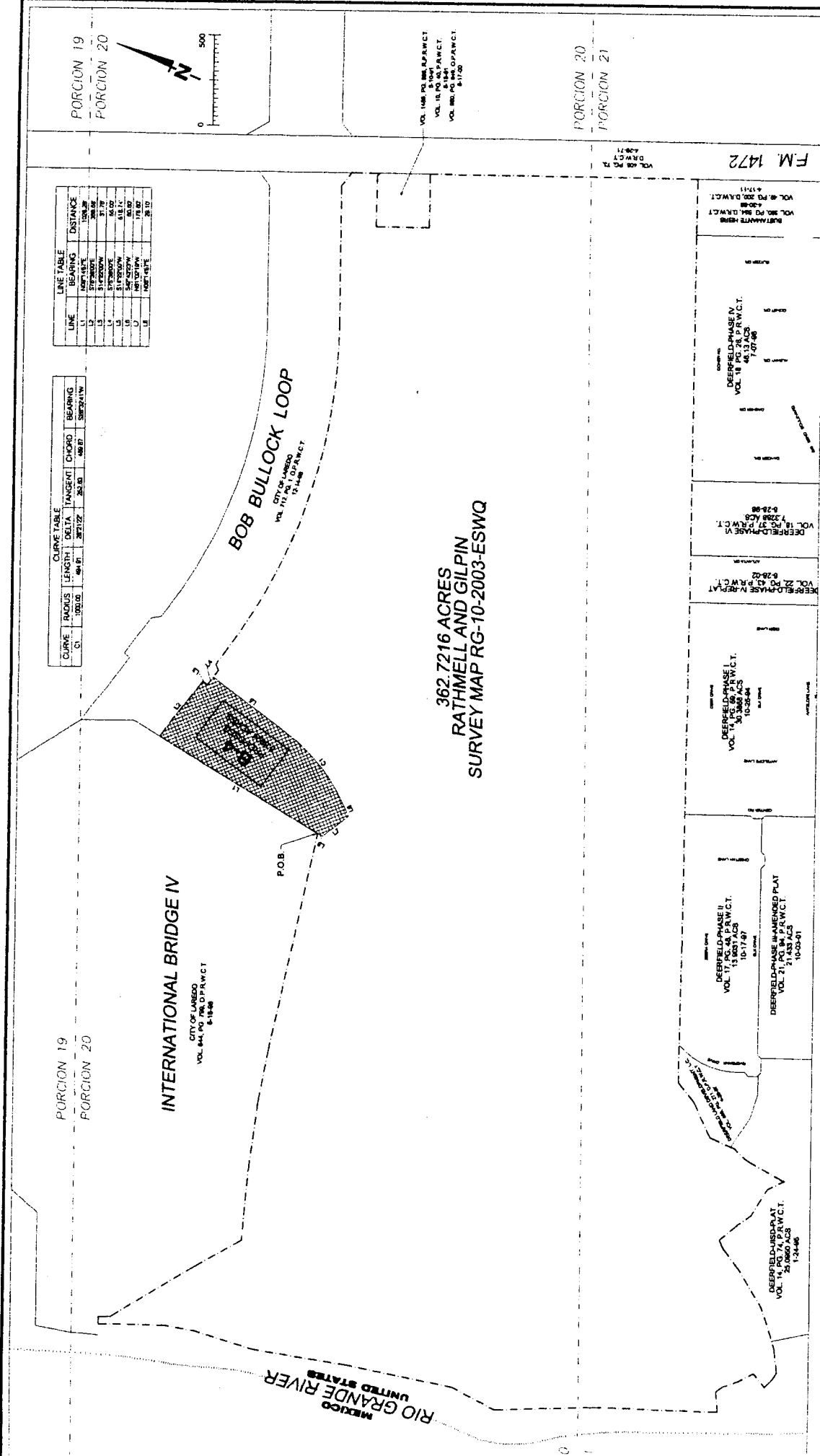
City of Laredo
Planning Department
Feet

LOCATION: Bub Bullock Lp

ZC - 95 - 2003

1200





LINE TABLE

LINE	BEARING	DISTANCE
1	S 87° 15' E	150.00
2	S 75° 00' E	31.77
3	S 75° 00' E	31.77
4	S 75° 00' E	31.77
5	S 75° 00' E	31.77
6	S 75° 00' E	31.77
7	S 75° 00' E	31.77
8	S 75° 00' E	31.77
9	S 75° 00' E	31.77
10	S 75° 00' E	31.77
11	S 75° 00' E	31.77
12	S 75° 00' E	31.77
13	S 75° 00' E	31.77
14	S 75° 00' E	31.77
15	S 75° 00' E	31.77
16	S 75° 00' E	31.77
17	S 75° 00' E	31.77
18	S 75° 00' E	31.77
19	S 75° 00' E	31.77
20	S 75° 00' E	31.77
21	S 75° 00' E	31.77
22	S 75° 00' E	31.77
23	S 75° 00' E	31.77
24	S 75° 00' E	31.77
25	S 75° 00' E	31.77
26	S 75° 00' E	31.77
27	S 75° 00' E	31.77
28	S 75° 00' E	31.77
29	S 75° 00' E	31.77
30	S 75° 00' E	31.77
31	S 75° 00' E	31.77
32	S 75° 00' E	31.77
33	S 75° 00' E	31.77
34	S 75° 00' E	31.77
35	S 75° 00' E	31.77
36	S 75° 00' E	31.77
37	S 75° 00' E	31.77
38	S 75° 00' E	31.77
39	S 75° 00' E	31.77
40	S 75° 00' E	31.77
41	S 75° 00' E	31.77
42	S 75° 00' E	31.77
43	S 75° 00' E	31.77
44	S 75° 00' E	31.77
45	S 75° 00' E	31.77
46	S 75° 00' E	31.77
47	S 75° 00' E	31.77
48	S 75° 00' E	31.77
49	S 75° 00' E	31.77
50	S 75° 00' E	31.77
51	S 75° 00' E	31.77
52	S 75° 00' E	31.77
53	S 75° 00' E	31.77
54	S 75° 00' E	31.77
55	S 75° 00' E	31.77
56	S 75° 00' E	31.77
57	S 75° 00' E	31.77
58	S 75° 00' E	31.77
59	S 75° 00' E	31.77
60	S 75° 00' E	31.77
61	S 75° 00' E	31.77
62	S 75° 00' E	31.77
63	S 75° 00' E	31.77
64	S 75° 00' E	31.77
65	S 75° 00' E	31.77
66	S 75° 00' E	31.77
67	S 75° 00' E	31.77
68	S 75° 00' E	31.77
69	S 75° 00' E	31.77
70	S 75° 00' E	31.77
71	S 75° 00' E	31.77
72	S 75° 00' E	31.77
73	S 75° 00' E	31.77
74	S 75° 00' E	31.77
75	S 75° 00' E	31.77
76	S 75° 00' E	31.77
77	S 75° 00' E	31.77
78	S 75° 00' E	31.77
79	S 75° 00' E	31.77
80	S 75° 00' E	31.77
81	S 75° 00' E	31.77
82	S 75° 00' E	31.77
83	S 75° 00' E	31.77
84	S 75° 00' E	31.77
85	S 75° 00' E	31.77
86	S 75° 00' E	31.77
87	S 75° 00' E	31.77
88	S 75° 00' E	31.77
89	S 75° 00' E	31.77
90	S 75° 00' E	31.77
91	S 75° 00' E	31.77
92	S 75° 00' E	31.77
93	S 75° 00' E	31.77
94	S 75° 00' E	31.77
95	S 75° 00' E	31.77
96	S 75° 00' E	31.77
97	S 75° 00' E	31.77
98	S 75° 00' E	31.77
99	S 75° 00' E	31.77
100	S 75° 00' E	31.77

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	BEARING
C1	1000.00	94.25	287.12°	34.30	146.87	S 87° 15' E

362.7216 ACRES
RATHMELL AND GILPIN
SURVEY MAP RG-10-2003-ESWQ

BASED ON BEARING: NAD 83/NAD83 TEXAS STATE PLANE - SOUTH ZONE 4205 COORDINATES, GRS80

EMBARCADERO SOUTHWEST QUADRANT

PROPOSED B-4
LAREDO, TEXAS



PREPARED UNDER THE DIRECT
SUPERVISION OF JACOB RATHMELL, JR.
FROM DEEDS AND RECORDS AVAILABLE.

12/01/03

RATHMELL & GILPIN
ENGINEERS
SURVEYORS
PLANNERS
1000 COMPLEX DRIVE ST.
LAREDO, TX 78040
PHONE (361) 751-0000
FAX (361) 751-0007

B-4
8.8924 ACRES

LEGAL DESCRIPTION OF AN 8.8924 ACRE PARCEL OF LAND OUT OF A 362.7216 ACRE PARCEL OF LAND AS DESCRIBED IN THE SURVEY MAP RG-10-2003-ESWQ OUT OF A 1530.61 ACRE PARCEL OF LAND, BEING SITUATED IN PORCION 20, ABSTRACT 48, ORIGINAL GRANTEE BAUTISTA GARCIA AND PORCION 21, ABSTRACT 49, ORIGINAL GRANTEE LEONARDO GARCIA AND SURVEY 2415, F. AND I. FARIAS ORIGINAL GRANTEES, RECORDED ON THE DATE OF FEBRUARY 13, 1996, IN VOLUME 382, PAGES 899 THRU 904, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS.

Beginning at a found 1/2 inch iron rod being the most easterly southeast corner of the International Bridge IV Property recorded in Volume 644, Page 799, Official Public Records of Webb County, Texas, for the **POINT OF BEGINNING** of this 8.8924 acre parcel;

Thence, N08°14'57"E along the common division line of herein described parcel and said Bridge IV Property, a distance of 1026.28 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G", for the **most northwesterly corner** hereof;

Thence, along the following points of deflection for the common division line of herein described parcel and the Bob Bullock Loop Right-of-Way recorded in Volume 712, Page 1, Official Public Records of Webb County, Texas;

S75°38'00"E, a distance of 388.58 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G", for an exterior corner hereof;

S14°22'00"W, a distance of 31.76 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G", for an interior corner hereof;

S75°38'00"E, a distance of 55.00 feet for the **most easterly northeast corner** hereof;

Thence, S14°22'00"W, a distance of 516.74 feet for a point of curvature hereof;

Thence, along a curve to the right, with a chord bearing S28°32'41"W, 489.87 feet, subtended by an arc with a radius of 1,000.00 feet, a distance of 494.91 feet for a point of tangency hereof;

Thence, S42°43'23"W, a distance of 80.60 feet for the **most southerly southeast corner** hereof;

Thence, N61°02'19"W, a distance of 178.60 feet for the **most westerly southwest corner** hereof;

Thence, N08°14'57"E, a distance of 29.10 feet for said **POINT OF BEGINNING**, containing within these metes and bounds 8.8924 acres of land, more or less.

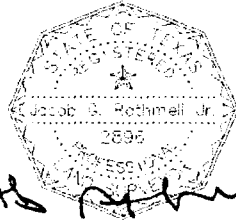
BASIS OF BEARINGS: NAD 83/NAVD88, STATE PLANE 4205 COORDINATES, GRID

STATE OF TEXAS
COUNTY OF WEBB

I, Jacob G. Rathmell Jr., the undersigned Registered Professional Land Surveyor, do hereby certify that the foregoing metes and bounds description is true and correct to my best knowledge and belief and was prepared under my direction and from office records available.

WITNESS MY HAND AND SEAL

EXHIBIT "A"


Jacob G. Rathmell Jr.
11/18/2003

LEGAL DESCRIPTION

BEING A 182.72 ACRE TRACT OF LAND OUT OF A 1,510.81 TRACT OF LAND BEING SITUATED IN SECTION 20, ABSTRACT 48 ORIGINAL GRANTEE BATHISTA GARCIA AND PORTION 21, ABSTRACT 48 ORIGINAL GRANTEE LEONARDO GARCIA, AND SURVEY 2415, 1, AND 1 PARAS ORIGINAL GRANTEES, AS RECORDED ON THE DATE OF FEBRUARY 13, 1986 IN VOLUME 382 PAGES 899-904 OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS

LEGEND

MISS
 M.C.

INTERNATIONAL BRIDGE IV.
CITY OF LAREDO
VOL 644 PG 799, OPR WCT.

DEVELOPMENT SUMMARY		VALUES
UNIT 1		
1.1	1.1.1	1.1.1.1
1.2	1.2.1	1.2.1.1
1.3	1.3.1	1.3.1.1
1.4	1.4.1	1.4.1.1
1.5	1.5.1	1.5.1.1
1.6	1.6.1	1.6.1.1
1.7	1.7.1	1.7.1.1
1.8	1.8.1	1.8.1.1
1.9	1.9.1	1.9.1.1
1.10	1.10.1	1.10.1.1
1.11	1.11.1	1.11.1.1
1.12	1.12.1	1.12.1.1
1.13	1.13.1	1.13.1.1
1.14	1.14.1	1.14.1.1
1.15	1.15.1	1.15.1.1
1.16	1.16.1	1.16.1.1
1.17	1.17.1	1.17.1.1
1.18	1.18.1	1.18.1.1
1.19	1.19.1	1.19.1.1
1.20	1.20.1	1.20.1.1
1.21	1.21.1	1.21.1.1
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1.23	1.23.1	1.23.1.1
1.24	1.24.1	1.24.1.1
1.25	1.25.1	1.25.1.1
1.26	1.26.1	1.26.1.1
1.27	1.27.1	1.27.1.1
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1.30	1.30.1	1.30.1.1
1.31	1.31.1	1.31.1.1
1.32	1.32.1	1.32.1.1
1.33	1.33.1	1.33.1.1
1.34	1.34.1	1.34.1.1
1.35	1.35.1	1.35.1.1
1.36	1.36.1	1.36.1.1
1.37	1.37.1	1.37.1.1
1.38	1.38.1	1.38.1.1
1.39	1.39.1	1.39.1.1
1.40	1.40.1	1.40.1.1
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1.42	1.42.1	1.42.1.1
1.43	1.43.1	1.43.1.1
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1.63	1.63.1	1.63.1.1
1.64	1.64.1	1.64.1.1
1.65	1.65.1	1.65.1.1
1.66	1.66.1	1.66.1.1
1.67	1.67.1	1.67.1.1
1.68	1.68.1	1.68.1.1
1.69	1.69.1	1.69.1.1
1.70	1.70.1	1.70.1.1
1.71	1.71.1	1.71.1.1
1.72	1.72.1	1.72.1.1
1.73	1.73.1	1.73.1.1
1.74	1.74.1	1.74.1.1
1.75	1.75.1	1.75.1.1
1.76	1.76.1	1.76.1.1
1.77	1.77.1	1.77.1.1
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1.91	1.91.1	1.91.1.1
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1.94	1.94.1	1.94.1.1
1.95	1.95.1	1.95.1.1
1.96	1.96.1	1.96.1.1
1.97	1.97.1	1.97.1.1
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1.100	1.100.1	1.100.1.1
UNIT 2		
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UNIT 3		
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3.67	3.67.1	3.67.1.1
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3.75	3.75.1	3.75.1.1
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3.89	3.89.1	3.89.1.1
3.90	3.90.1	3.90.1.1
3.91	3.91.1	3.91.1.1
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3.93	3.93.1	3.93.1.1
3.94	3.94.1	3.94.1.1
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3.96	3.96.1	3.96.1.1
3.97	3.97.1	3.97.1.1
3.98	3.98.1	3.98.1.1
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MASTER DEVELOPMENT PLAN

EMBARCADERO
SOUTHWEST QUADRANT

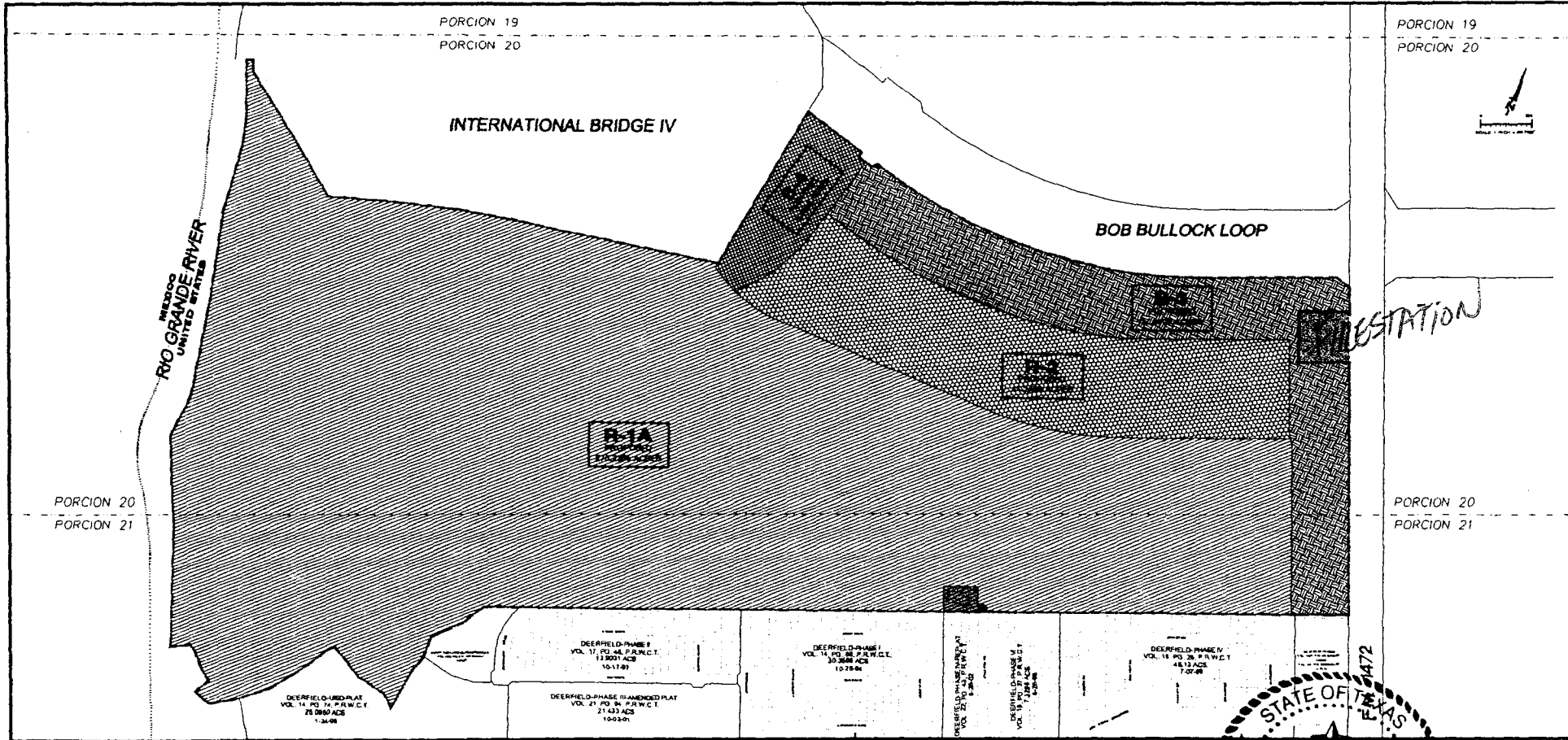
FASKEN LTD.
2333 WILCO ROAD
LAKESIDE, TEXAS 78045

OFFERED: JUNI

PROPOSED ZONING LAYOUT

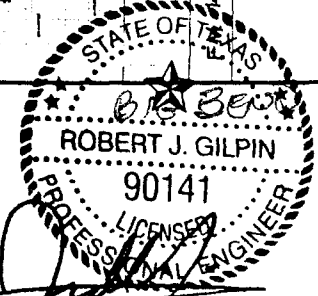
OF
A 382.7218 ACRE PARCEL OF LAND
OUT OF

A 1530.61 ACRE PARCEL OF LAND BEING SITUATED IN PORCION 20, ABSTRACT 48, ORIGINAL GRANTEE BAUTISTA GARCIA
AND PORCION 21, ABSTRACT 48, ORIGINAL GRANTEE LEONARDO GARCIA AND SURVEY 2415, F. AND I. FARIAS ORIGINAL GRANTEES,
AS RECORDED ON THE DATE OF FEBRUARY 13, 1998, IN VOLUME 382, PGS. 898 - 904, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS.



LEGEND

	PROPOSED R-1A 275.2385 ACRES		PROPOSED B-3 37.3408 ACRES
	PROPOSED R-2 41.2499 ACRES		PROPOSED B-4 8.8924 ACRES



11-19-03



ZC-95-2003

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning 41.25 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to R-2 (Multi-Family Residential District); providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed zone change. <div style="text-align: right;">ZC-96-2003</div>	
Initiated by: Fasken, Ltd.		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND Council District: VII – Jose A. Valdez, Jr. Proposed use: Residential Site: The site is currently vacant. Surrounding land uses: The site is surrounded by vacant and undeveloped land with the exception of Bob Bullock Loop to the north, International Bridge IV to the northwest, Mines Road and a fire station to the east, and several large areas of single family residential development farther to the south. Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Warehouse/Light Industrial. Transportation Plan: The Long Range Thoroughfare Plan identifies Loop 20 as a Major Arterial and a Truck Route and Mines Road as Truck Route and a Super Street at this location. Letters sent to surrounding property owners: 1 In Favor: 0 Opposed: 0		
STAFF COMMENTS The proposed zone change is appropriate at this location. Though inconsistent with the Comprehensive Plan's Retail/Office and Warehouse/Light Industrial designation, the change is consistent with the area's proposed master plan, the area's proposed and existing zoning designations and the existing and proposed large residential developments to the south.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 5 to 0 vote, recommended approval of the zone change.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed zone change.

COUNCIL COMMUNICATION

IMPACT ANALYSIS

R-2 (Multi-Family Residential District): The purpose of the R-2 is to provide an area for higher density residential uses and those public and semi-public uses normally considered an integral part of the neighborhood they serve.

Is this change contrary to the established land use pattern?

The land use pattern south of Bob Bullock Loop is still sparse aside from the Bridge and the fire station.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the proposed zoning will be congruent to existing and proposed districts.

Will change adversely influence living conditions in the neighborhood?

N/A.

Are there substantial reasons why the property can not be used in accord with existing zoning?

No, the current zoning allows for uses that are compatible with the surrounding area.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING 41.25 ACRES, AS FURTHER DESCRIBED BY METES AND BOUNDS IN ATTACHED EXHIBIT "A", LOCATED AT THE WEST OF MINES ROAD AND SOUTH OF BOB BULLOCK LOOP, FROM M-1 (LIGHT MANUFACTURING DISTRICT) TO R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a zone change has been requested by the owners of 41.25 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to R-2 (Multi-Family Residential District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by rezoning 41.25 acres, as further described by metes and bounds in attached Exhibit "A", located at the west of Mines Road and south of Bob Bullock Loop, from M-1 (Light Manufacturing District) to R-2 (Multi-Family Residential District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

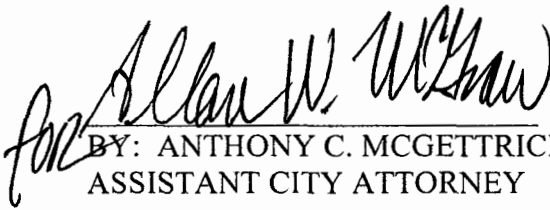
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2004.

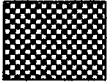
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



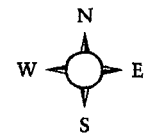
**Rezone from M-1 (Light Manufacturing District)
To R-2 (Multi-Family Residential District)**

LOCATION: Bub Bullock Lp and FM 1472

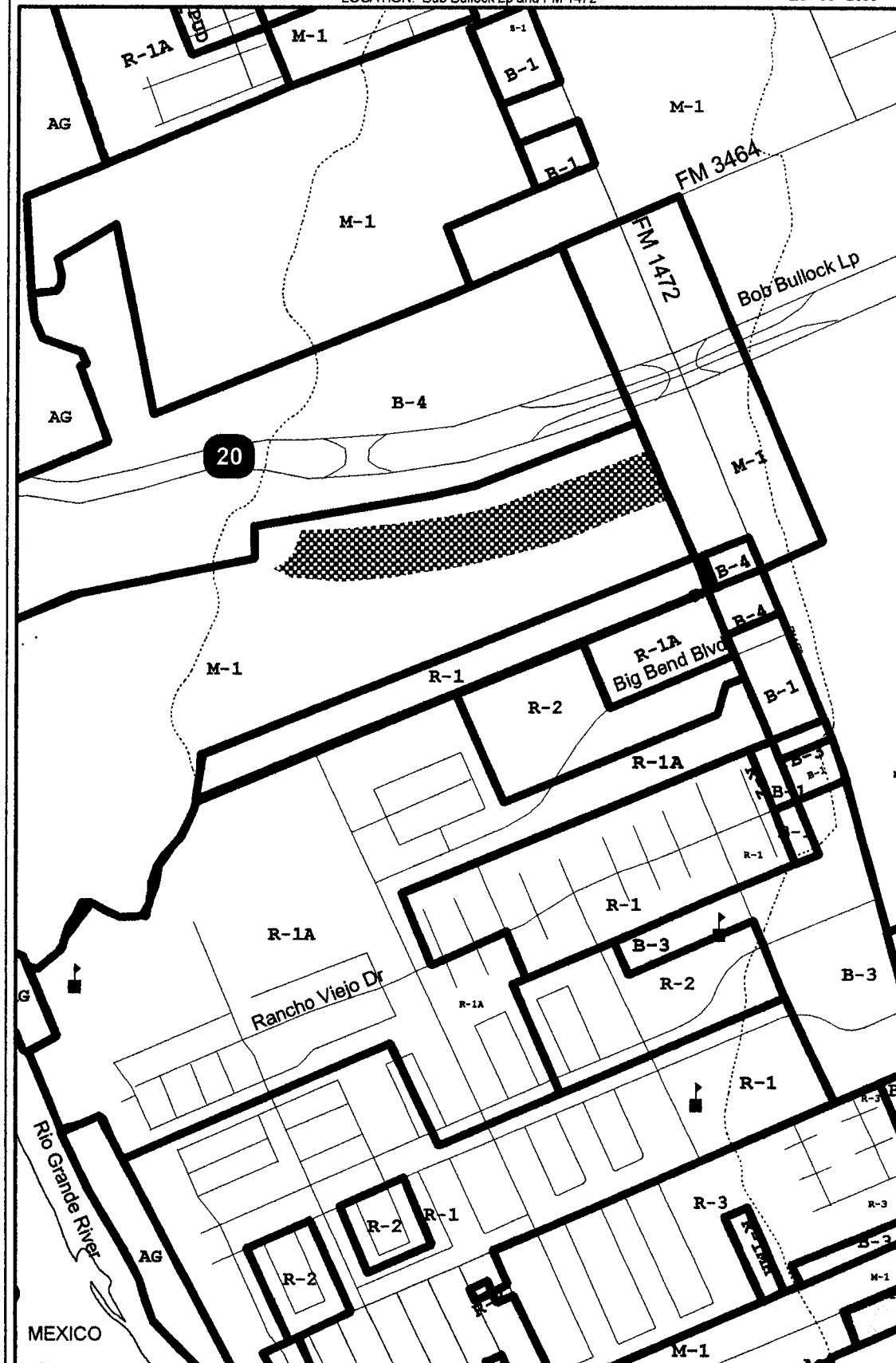
ZC - 96 - 2003

City of Laredo
Planning Department
Feet

1200



**City of Laredo
Zoning Map**



PORCION 19
PORCION 20

INTERNATIONAL BRIDGE IV

CITY OF LAREDO
VOL. 844, PG. 786, O.P.R.W.C.T.
6-16-88

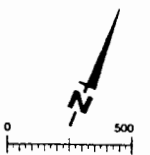
BOB BULLOCK LOOP
CITY OF LAREDO
VOL. 712, PG. 10, P.R.W.C.T.
12-14-88

362.7216 ACRES
RATHMELL AND GILPIN
SURVEY MAP RG-10-2003-ESWQ

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	BEARING
C1	2000.00	804.15	23°02'12"	407.57	708.72	37°02'01"W
C2	1000.00	404.81	28°21'22"	262.83	499.87	108°32'41"E
C3	3000.00	1026.81	19°26'24"	518.37	1021.80	286°28'12"E
C4	2000.00	586.48	17°10'24"	300.00	587.22	17°10'24"E

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S67°26'12"W	576.30
L2	N86°22'37"W	1407.34
L3	N74°36'22"W	186.78
L4	N42°43'22"E	80.80
L5	N47°22'01"E	142.89
L6	S72°38'05"E	160.48
L7	N84°48'30"E	148.87
L8	N67°26'12"E	812.16
L9	S22°24'46"E	528.01
L10	S30°48'17"E	94.84

PORCION 19
PORCION 20



VOL. 1488, PG. 188, R.P.W.C.T.
6-15-81
VOL. 10, PG. 42, P.R.W.C.T.
6-18-81
VOL. 860, PG. 848, O.P.R.W.C.T.
6-17-80

PORCION 20
PORCION 21

COMMENCING POINT

F.M. 1472

DEERFIELD-UISO PLAT
VOL. 14, PG. 74, P.R.W.C.T.
25 0850 ACS
1-24-86

DEERFIELD-PHASE II-AMENDED PLAT
VOL. 21, PG. 94, P.R.W.C.T.
21 433 ACS
10-20-81

DEERFIELD-PHASE II
VOL. 17, PG. 48, P.R.W.C.T.
13 8031 ACS
10-17-87

DEERFIELD-PHASE I
VOL. 14, PG. 38, P.R.W.C.T.
30 388 ACS
10-25-84

DEERFIELD-PHASE V
VOL. 22, PG. 42, P.R.W.C.T.
5 285 ACS
6-28-82

DEERFIELD-PHASE VI
VOL. 18, PG. 37, P.R.W.C.T.
7 388 ACS
6-28-82

DEERFIELD-PHASE IV
VOL. 18, PG. 28, P.R.W.C.T.
46 13 ACS
7-07-88

RATHMELL AND GILPIN
VOL. 386, PG. 828, O.P.R.W.C.T.
VOL. 48, PG. 288, O.P.R.W.C.T.
6-17-81

BASIC OF BEARINGS: NAD 83/NAVD83, TEXAS STATE PLANE-SOUTH ZONE, 4205 COORDINATES, GRID

EMBARCADERO SOUTHWEST QUADRANT

PROPOSED R-2
LAREDO, TEXAS

PREPARED UNDER THE DIRECT
SUPERVISION OF JACOB RATHMELL JR.
FROM DEEDS AND RECORDS AVAILABLE



DATE	12-01-03
REVISION	

RATHMELL & GILPIN

ENGINEERS
SURVEYORS
PLANNERS
1520 CORPUS CHURCH ST.
LAREDO, TX 78040
PHONE (512) 733-0168
FAX (512) 733-8637

SHEET NO
2 of 5

R-2
41.2499 ACRES

LEGAL DESCRIPTION OF A 41.2499 ACRE PARCEL OF LAND OUT OF A 362.7216 ACRE PARCEL OF LAND AS DESCRIBED IN THE SURVEY MAP RG-10-2003-ESWQ OUT OF A 1530.61 ACRE PARCEL OF LAND, BEING SITUATED IN PORCION 20, ABSTRACT 48, ORIGINAL GRANTEE BAUTISTA GARCIA AND PORCION 21, ABSTRACT 49, ORIGINAL GRANTEE LEONARDO GARCIA AND SURVEY 2415, F. AND I. FARIAS ORIGINAL GRANTEES, RECORDED ON THE DATE OF FEBRUARY 13, 1996, IN VOLUME 382, PAGES 899 THRU 904, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS.

Commencing at a found concrete monument situated on the west line of F.M. 1472 Right-of-Way recorded in Volume 406, Page 73, Deed Records of Webb County, Texas, being the southeast corner of said 362.7216 acre parcel and the northeast corner of Bustamante Tract recorded in Volume 380, Page 534, Deed Records of Webb County, Texas. Thence, S67°45'34"W, along the common division line of said 362.7216 acre parcel and said Bustamante Tract, a distance of 308.42 feet to a set 1/2 inch iron rod with yellow plastic cap marked "R&G" being the northwest corner of said Bustamante Tract and northeast corner of Deerfield-Phase IV recorded in Volume 18, Page 28 and, Plat Records of Webb County, Texas; Thence, S67°33'33"W, along the common division line of said 362.7216 acre parcel and said Deerfield-Phase IV Plat, a distance of 21.58 feet; Thence, N22°26'27"W, a distance of 976.33 feet; Thence, N30°46'17"W, a distance of 50.53 feet for the **POINT OF BEGINNING** of this 41.2499 acre parcel and the **most easterly corner** hereof;

Thence, S67°35'12"W, a distance of 978.30 feet for a point of curvature hereof;

Thence, along a curve to the right, with a chord bearing S79°06'18"W, 798.72 feet, subtended by an arc with a radius of 2,000.00 feet, a distance of 804.13 feet for a point of tangency hereof;

Thence, N89°22'37"W, a distance of 1,407.34 feet for a point of deflection hereof;

Thence, N74°55'23"W, a distance of 199.76 feet for the **most westerly corner** hereof;

Thence, N42°43'23"E, a distance of 80.60 feet for a point of curvature hereof;

Thence, along a curve to the left, with a chord bearing N28°32'41"E, 489.87 feet, subtended by an arc with a radius of 1,000.00 feet, a distance of 494.91 feet for a point of tangency hereof;

Thence, N14°22'00"E, a distance of 142.89 feet for the **most northwesterly corner** hereof;

Thence, S75°38'00"E, a distance of 190.58 feet for a point of curvature hereof;

Thence, along a curve to the left, with a chord bearing S85°26'12"E, 1021.60 feet, subtended by an arc with a radius of 3,000.00 feet, a distance of 1026.61 feet for a point of tangency hereof;

Thence, N84°45'36"E, a distance of 148.93 feet for a point of curvature hereof;

Thence, along a curve to the left, with a chord bearing N76°10'24"E, 597.22 feet, subtended by an arc with a radius of 2,000.00 feet, a distance of 599.46 feet for a point of tangency hereof;

Thence, N67°35'12"E, a distance of 872.14 feet for the **most northeasterly corner** hereof;

EXHIBIT "A"

Thence, S22°24'48"E, a distance of 528.01 feet for a point of deflection hereof;


Thence, S30°46'17"E, a distance of 50.54 feet for said **POINT OF BEGINNING**,
containing within these metes and bounds 41.2499 acres of land, more or less.

BASIS OF BEARINGS: NAD 83/NAVD88, STATE PLANE 4205 COORDINATES, GRID

STATE OF TEXAS
COUNTY OF WEBB

I, Jacob G. Rathmell Jr., the undersigned Registered Professional Land Surveyor, do hereby
certify that the foregoing metes and bounds description is true and correct to my best knowledge
and belief and was prepared under my direction and from office records available.

WITNESS MY HAND AND SEAL



Jacob G. Rathmell Jr.
11/18/03

EXHIBIT "A"

DEVELOPMENT SUMMARY		2010-15	2015-20
2010-15			
2015-20			
2020-25			
2025-30			
2030-35			
2035-40			
2040-45			
2045-50			
2050-55			
2055-60			
2060-65			
2065-70			
2070-75			
2075-80			
2080-85			
2085-90			
2090-95			
2095-2100			

LEGEND

LEGAL DESCRIPTION

BEING A 382.72 ACRE TRACT OF LAND OUT OF A 1,203.81 TRACT OF LAND BEING SITUATE IN PARCELS 20, 20A, 20B, 20C, 20D, 20E, 20F, 20G, 20H, 20I, 20J, 20K, 20L, 20M, 20N, 20O, 20P, 20Q, 20R, 20S, 20T, 20U, 20V, 20W, 20X, 20Y, 20Z, 20AA, 20AB, 20AC, 20AD, 20AE, 20AF, 20AG, 20AH, 20AI, 20AJ, 20AK, 20AL, 20AM, 20AN, 20AO, 20AP, 20AQ, 20AR, 20AS, 20AT, 20AU, 20AV, 20AW, 20AX, 20AY, 20AZ, 20BA, 20BB, 20BC, 20BD, 20BE, 20BF, 20BG, 20BH, 20BI, 20BJ, 20BK, 20BL, 20BM, 20BN, 20BO, 20BP, 20BQ, 20BR, 20BS, 20BT, 20BU, 20BV, 20BW, 20BX, 20BY, 20BZ, 20CA, 20CB, 20CC, 20CD, 20CE, 20CF, 20CG, 20CH, 20CI, 20CJ, 20CK, 20CL, 20CM, 20CN, 20CO, 20CP, 20CQ, 20CR, 20CS, 20CT, 20CU, 20CV, 20CW, 20CX, 20CY, 20CZ, 20DA, 20DB, 20DC, 20DD, 20DE, 20DF, 20DG, 20DH, 20DI, 20DJ, 20DK, 20DL, 20DM, 20DN, 20DO, 20DP, 20DQ, 20DR, 20DS, 20DT, 20DU, 20DV, 20DW, 20DX, 20DY, 20DZ, 20EA, 20EB, 20EC, 20ED, 20EE, 20EF, 20EG, 20EH, 20EI, 20EJ, 20EK, 20EL, 20EM, 20EN, 20EO, 20EP, 20EQ, 20ER, 20ES, 20ET, 20EU, 20EV, 20EW, 20EX, 20EY, 20EZ, 20FA, 20FB, 20FC, 20FD, 20FE, 20FF, 20FG, 20FH, 20FI, 20FJ, 20FK, 20FL, 20FM, 20FN, 20FO, 20FP, 20FQ, 20FR, 20FS, 20FT, 20FU, 20FV, 20FW, 20FX, 20FY, 20FZ, 20GA, 20GB, 20GC, 20GD, 20GE, 20GF, 20GG, 20GH, 20GI, 20GJ, 20GK, 20GL, 20GM, 20GN, 20GO, 20GP, 20GQ, 20GR, 20GS, 20GT, 20GU, 20GV, 20GW, 20GX, 20GY, 20GZ, 20HA, 20HB, 20HC, 20HD, 20HE, 20HF, 20HG, 20HH, 20HI, 20HJ, 20HK, 20HL, 20HM, 20HN, 20HO, 20HP, 20HQ, 20HR, 20HS, 20HT, 20HU, 20HV, 20HW, 20HX, 20HY, 20HZ, 20IA, 20IB, 20IC, 20ID, 20IE, 20IF, 20IG, 20IH, 20II, 20IJ, 20IK, 20IL, 20IM, 20IN, 20IO, 20IP, 20IQ, 20IR, 20IS, 20IT, 20IU, 20IV, 20IW, 20IX, 20IY, 20IZ, 20JA, 20JB, 20JC, 20JD, 20JE, 20JF, 20JG, 20JH, 20JI, 20JJ, 20JK, 20JL, 20JM, 20JN, 20JO, 20JP, 20JQ, 20JR, 20JS, 20JT, 20JU, 20JV, 20JW, 20JX, 20JY, 20JZ, 20KA, 20KB, 20KC, 20KD, 20KE, 20KF, 20KG, 20KH, 20KI, 20KJ, 20KK, 20KL, 20KM, 20KN, 20KO, 20KP, 20KQ, 20KR, 20KS, 20KT, 20KU, 20KV, 20KW, 20KX, 20KY, 20KZ, 20LA, 20LB, 20LC, 20LD, 20LE, 20LF, 20LG, 20LH, 20LI, 20LJ, 20LK, 20LL, 20LM, 20LN, 20LO, 20LP, 20LQ, 20LR, 20LS, 20LT, 20LU, 20LV, 20LW, 20LX, 20LY, 20LZ, 20MA, 20MB, 20MC, 20MD, 20ME, 20MF, 20MG, 20MH, 20MI, 20MJ, 20MK, 20ML, 20MM, 20MN, 20MO, 20MP, 20MQ, 20MR, 20MS, 20MT, 20MU, 20MV, 20MW, 20MX, 20MY, 20MZ, 20NA, 20NB, 20NC, 20ND, 20NE, 20NF, 20NG, 20NH, 20NI, 20NJ, 20NK, 20NL, 20NM, 20NN, 20NO, 20NP, 20NQ, 20NR, 20NS, 20NT, 20NU, 20NV, 20NW, 20NX, 20NY, 20NZ, 20OA, 20OB, 20OC, 20OD, 20OE, 20OF, 20OG, 20OH, 20OI, 20OJ, 20OK, 20OL, 20OM, 20ON, 20OO, 20OP, 20OQ, 20OR, 20OS, 20OT, 20OU, 20OV, 20OW, 20OX, 20OY, 20OZ, 20PA, 20PB, 20PC, 20PD, 20PE, 20PF, 20PG, 20PH, 20PI, 20PJ, 20PK, 20PL, 20PM, 20PN, 20PO, 20PP, 20PQ, 20PR, 20PS, 20PT, 20PU, 20PV, 20PW, 20PX, 20PY, 20PZ, 20QA, 20QB, 20QC, 20QD, 20QE, 20QF, 20QG, 20QH, 20QI, 20QJ, 20QK, 20QL, 20QM, 20QN, 20QO, 20QP, 20QQ, 20QR, 20QS, 20QT, 20QU, 20QV, 20QW, 20QX, 20QY, 20QZ, 20RA, 20RB, 20RC, 20RD, 20RE, 20RF, 20RG, 20RH, 20RI, 20RJ, 20RK, 20RL, 20RM, 20RN, 20RO, 20RP, 20RQ, 20RR, 20RS, 20RT, 20RU, 20RV, 20RW, 20RX, 20RY, 20RZ, 20SA, 20SB, 20SC, 20SD, 20SE, 20SF, 20SG, 20SH, 20SI, 20SJ, 20SK, 20SL, 20SM, 20SN, 20SO, 20SP, 20SQ, 20SR, 20SS, 20ST, 20SU, 20SV, 20SW, 20SX, 20SY, 20SZ, 20TA, 20TB, 20TC, 20TD, 20TE, 20TF, 20TG, 20TH, 20TI, 20TJ, 20TK, 20TL, 20TM, 20TN, 20TO, 20TP, 20TQ, 20TR, 20TS, 20TT, 20TU, 20TV, 20TW, 20TX, 20TY, 20TZ, 20UA, 20UB, 20UC, 20UD, 20UE, 20UF, 20UG, 20UH, 20UI, 20UJ, 20UK, 20UL, 20UM, 20UN, 20UO, 20UP, 20UQ, 20UR, 20US, 20UT, 20UU, 20UV, 20UW, 20UX, 20UY, 20UZ, 20VA, 20VB, 20VC, 20VD, 20VE, 20VF, 20VG, 20VH, 20VI, 20VJ, 20VK, 20VL, 20VM, 20VN, 20VO, 20VP, 20VQ, 20VR, 20VS, 20VT, 20VU, 20VV, 20VW, 20VX, 20VY, 20VZ, 20WA, 20WB, 20WC, 20WD, 20WE, 20WF, 20WG, 20WH, 20WI, 20WJ, 20WK, 20WL, 20WM, 20WN, 20WO, 20WP, 20WQ, 20WR, 20WS, 20WT, 20WU, 20WV, 20WW, 20WX, 20WY, 20WZ, 20XA, 20XB, 20XC, 20XD, 20XE, 20XF, 20XG, 20XH, 20XI, 20XJ, 20XK, 20XL, 20XM, 20XN, 20XO, 20XP, 20XQ, 20XR, 20XS, 20XT, 20XU, 20XV, 20XW, 20XX, 20XY, 20XZ, 20YA, 20YB, 20YC, 20YD, 20YE, 20YF, 20YG, 20YH, 20YI, 20YJ, 20YK, 20YL, 20YM, 20YN, 20YO, 20YP, 20YQ, 20YR, 20YS, 20YT, 20YU, 20YV, 20YW, 20YX, 20YY, 20YZ, 20ZA, 20ZB, 20ZC, 20ZD, 20ZE, 20ZF, 20ZG, 20ZH, 20ZI, 20ZJ, 20ZK, 20ZL, 20ZM, 20ZN, 20ZO, 20ZP, 20ZQ, 20ZR, 20ZS, 20ZT, 20ZU, 20ZV, 20ZW, 20ZX, 20ZY, 20ZZ, 20AA, 20AB, 20AC, 20AD, 20AE, 20AF, 20AG, 20AH, 20AI, 20AJ, 20AK, 20AL, 20AM, 20AN, 20AO, 20AP, 20AQ, 20AR, 20AS, 20AT, 20AU, 20AV, 20AW, 20AX, 20AY, 20AZ, 20BA, 20BB, 20BC, 20BD, 20BE, 20BF, 20BG, 20BH, 20BI, 20BJ, 20BK, 20BL, 20BM, 20BN, 20BO, 20BP, 20BQ, 20BR, 20BS, 20BT, 20BU, 20BV, 20BW, 20BX, 20BY, 20BZ, 20CA, 20CB, 20CC, 20CD, 20CE, 20CF, 20CG, 20CH, 20CI, 20CJ, 20CK, 20CL, 20CM, 20CN, 20CO, 20CP, 20CQ, 20CR, 20CS, 20CT, 20CU, 20CV, 20CW, 20CX, 20CY, 20CZ, 20DA, 20DB, 20DC, 20DD, 20

INTERNATIONAL BRIDGE IN
CITY OF LAREDO
VOL 644, PG 799, O P R W C T
6 15 98

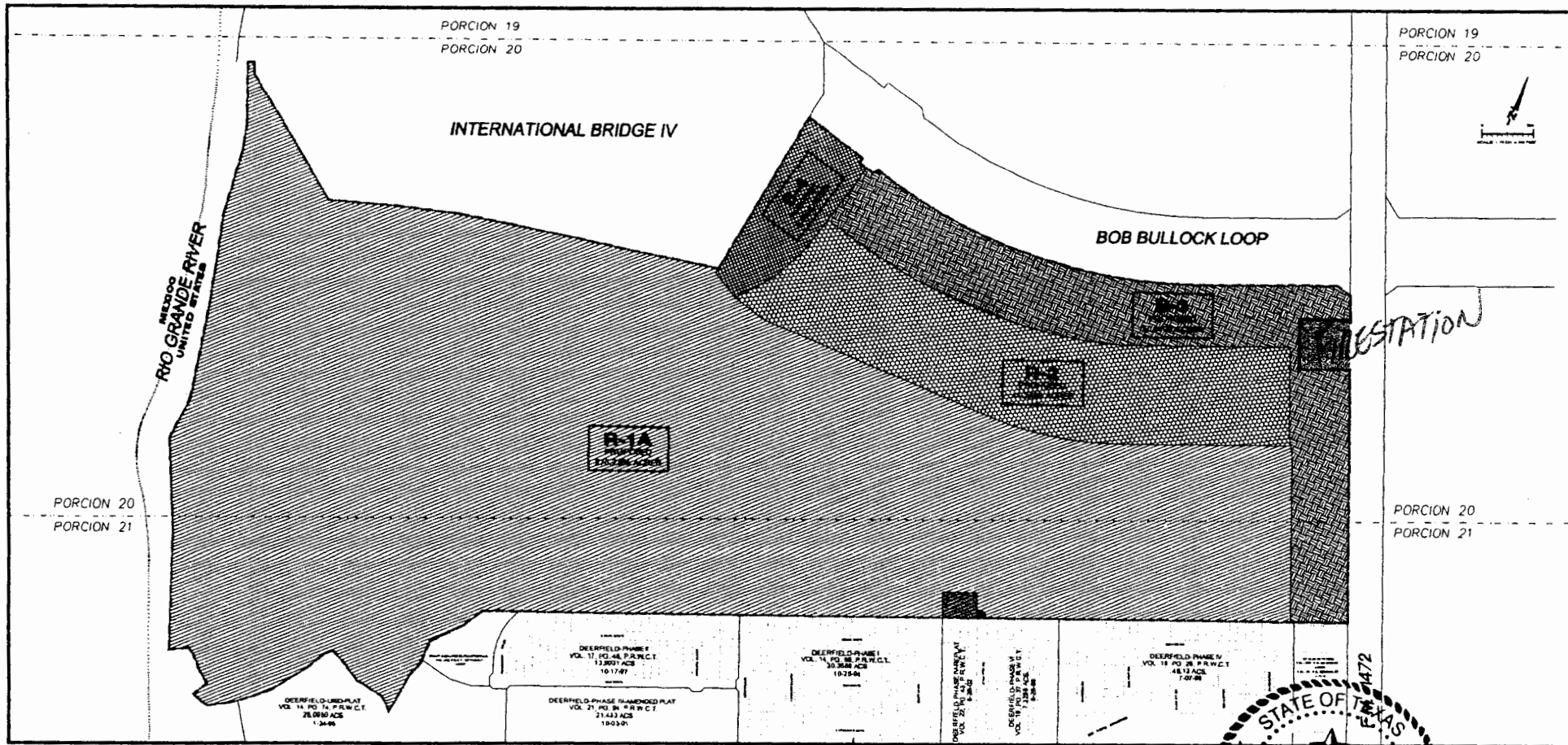
EMBARCADERO
SOUTHWEST QUADRANT
FASKEN LTD
MASTER DEVELOPMENT PLAN

FASKEN LTD.
8333 WILCO ROAD
LAREDO TEXAS 78045

PROPOSED ZONING LAYOUT

OF
A 362.7216 ACRE PARCEL OF LAND
OUT OF

A 1530.61 ACRE PARCEL OF LAND BEING SITUATED IN PORCION 20, ABSTRACT 48, ORIGINAL GRANTEE BAUTISTA GARCIA
AND PORCION 21, ABSTRACT 48, ORIGINAL GRANTEE LEONARDO GARCIA AND SURVEY 2415, F. AND I. FARIAS ORIGINAL GRANTEES,
AS RECORDED ON THE DATE OF FEBRUARY 13, 1968, IN VOLUME 362, PGS. 898 - 904, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS



LEGEND

	PROPOSED R-1A 275.2385 ACRES		PROPOSED B-3 37.3408 ACRES
	PROPOSED R-2 41.2499 ACRES		PROPOSED B-4 8.8924 ACRES



11-19-03



ZC-96-2003

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COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing a Conditional Use Permit for a second single family residential dwelling on Lot 1 and the west ½ of Lot 2, Block 1158, Eastern Division, located at 2001 Piedra China St.; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit. ZC-97-2003	
Initiated by: Apolonio Trejo		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND Council District: III – John C. Galo Proposed use: Residential. (a second single family residential dwelling) Site: The site is currently occupied by an existing single family residential dwelling and another under construction. The site is zoned R-1 (Single Family Residential District). Surrounding land uses: The site is surrounded by a mix of residential uses with the exception of a day-care located to the immediate north. Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential. Transportation Plan: The Long Range Thoroughfare Plan does not identify either Urbahn Ave. or Piedra China St. at this location. Letters sent to surrounding property owners: 32 In Favor: 3 Opposed: 0		
STAFF COMMENTS Staff supports the issuance of the proposed Conditional Use permit. Conditional uses are generally those land uses located in older sections of the City, which are not permitted by the site's current zoning designation, but which are compatible with the surrounding land use pattern. This site is indeed located in an older section of Laredo which, though zoned R-1, show markedly increased density due to property subdivision. Therefore, the proposed use is remarkably consistent with the surrounding area's higher density land use pattern and consequently meets the foundational criteria for permit issuance. Staff recommends the following condition: 1. All relevant City of Laredo development requirements shall apply.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 4 to 1 vote, recommended approval of the Conditional Use Permit.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed Conditional Use Permit.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING A CONDITIONAL USE PERMIT FOR A SECOND SINGLE FAMILY RESIDENTIAL DWELLING ON LOT 1 AND THE WEST ½ OF LOT 2, BLOCK 1158, EASTERN DIVISION, LOCATED AT 2001 PIEDRA CHINA ST.; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a Conditional Use Permit for a second single family residential dwelling on Lot 1 and the west ½ of Lot 2, Block 1158, Eastern Division, located at 2001 Piedra China St. has been requested; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the Conditional Use Permit; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the Conditional Use Permit amendment appropriate and consistent with the General Plan of the City of Laredo.

WHEREAS, all conditions imposed by the Conditional Use Permit, and all pertinent requirements the Laredo Land Development Code shall be met before the activity sanctioned by the Conditional Use Permit may commence.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by authorizing a Conditional Use Permit for a second single family residential dwelling on Lot 1 and the west ½ of Lot 2, Block 1158, Eastern Division, located at 2001 Piedra China St.

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. All relevant City of Laredo development requirements shall apply.

Section 3: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

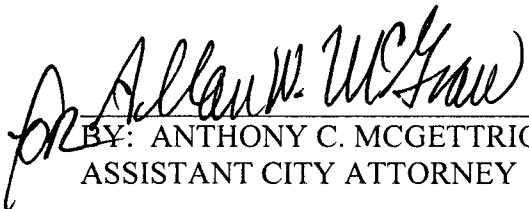
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY

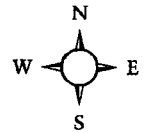
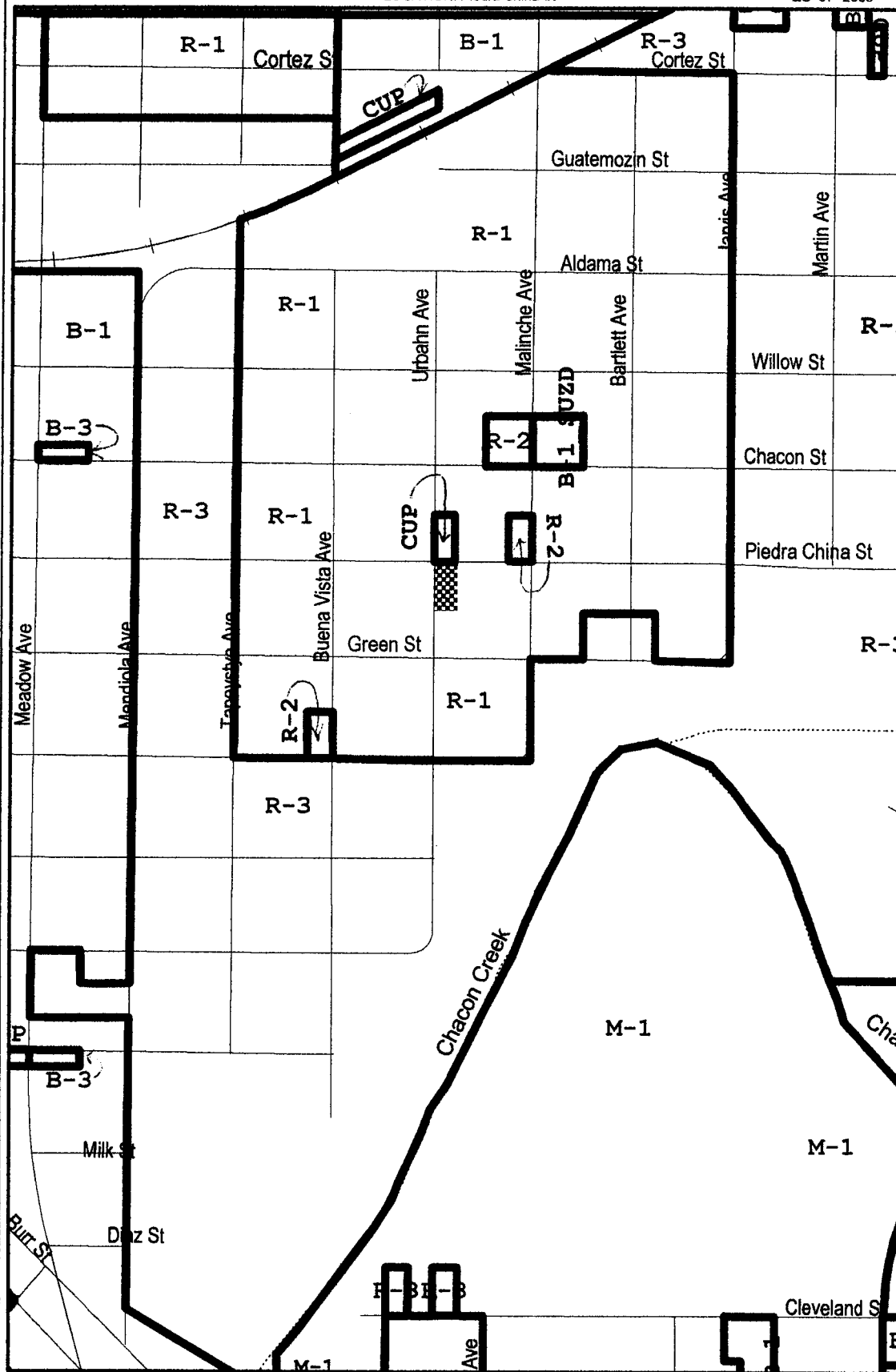
**Request for a
C.U.P. (Conditional Use Permit)**

LOCATION: Piedra China St

ZC-97-2003

City of Laredo
Planning Department
Feet

500



**City of Laredo
Zoning Map**



ST. PIEDRA CHINA.

CORNER

exit

NEXT. LAND.

SIDE WALK CITY

12'-0"

30'-0"

68'-0"

19'-0"

8'-0"

SIDE WALK CITY

13'-0"

HOUSE
EXISTING.

30'-0"

40'-0"

8'-0"

21'-0"

34'-0"

DRIVEWAY

14'-0"

NEW ADDITION

23'-0"

19'-0"

27'-0"

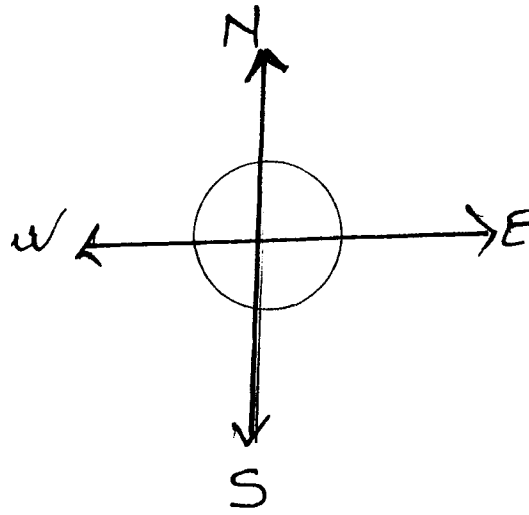
67'-0"

67'-0"

SIDE WALK CITY

NEXT. LAND.

NEXT. LAND.



2001 PIEDRA CHINA

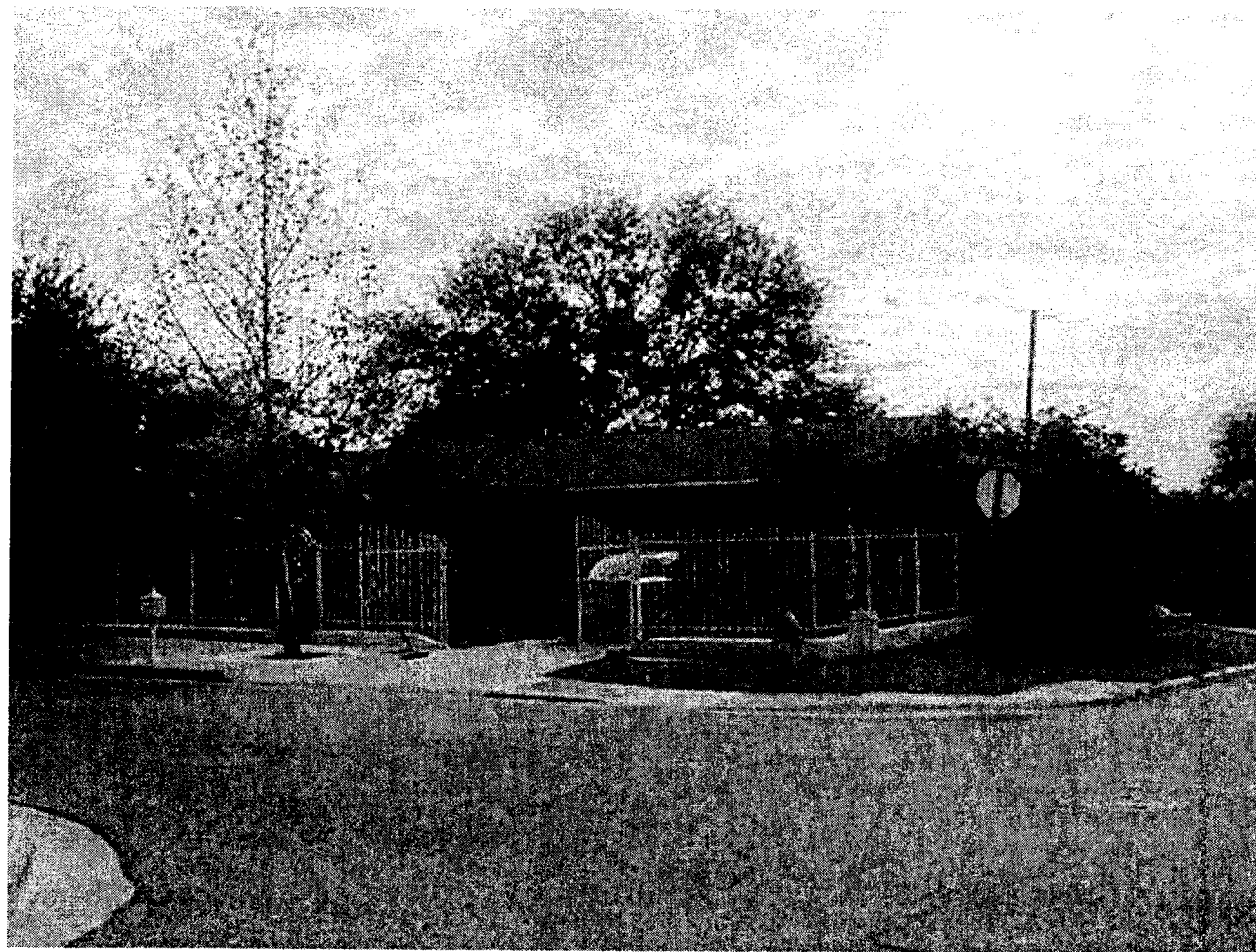
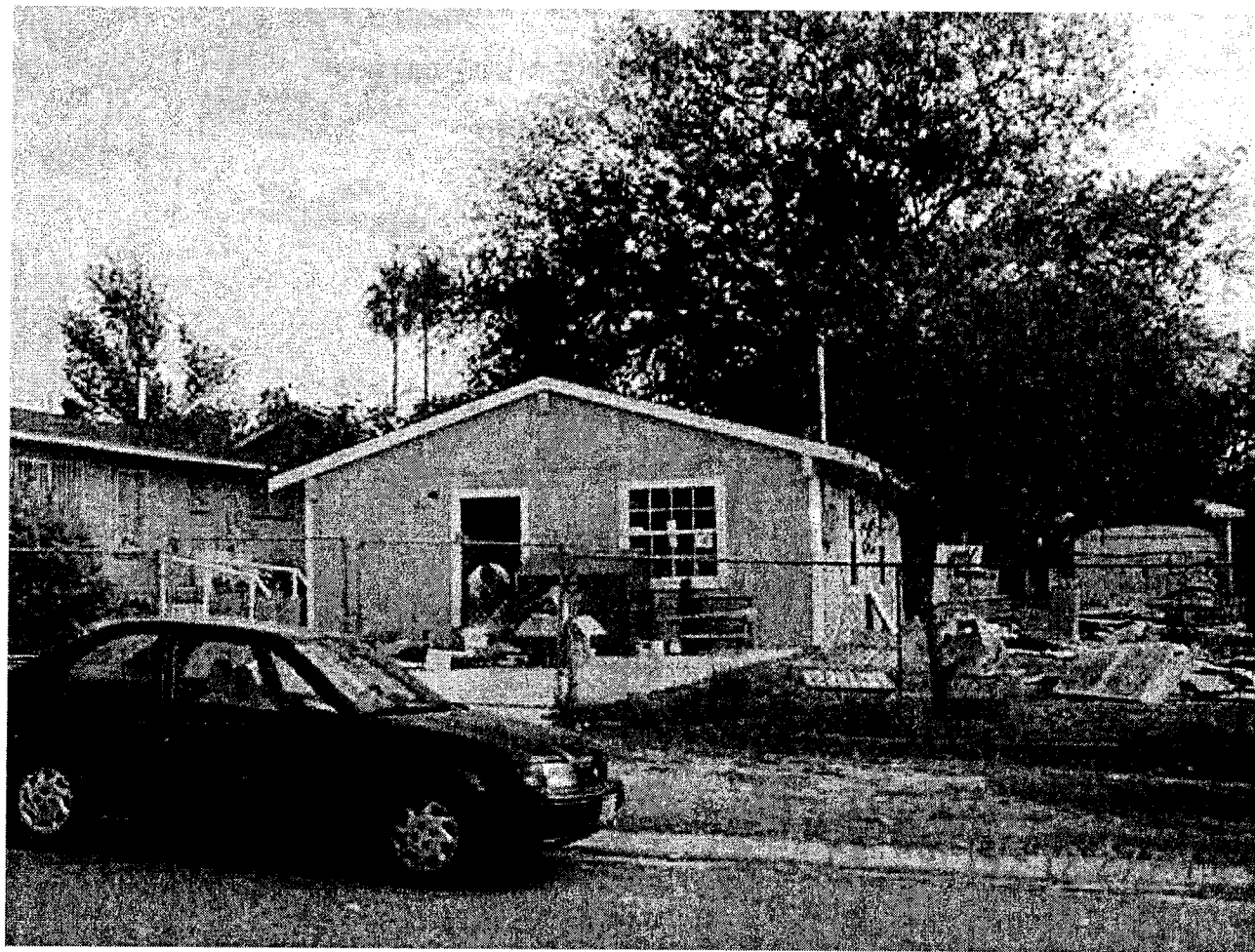
LOT - 1 W 1/2 of 2

#Block. 1158 ED.

SCALE 1" = 20' P.

ST. URBAN

exit



ZC-97-2003

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COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing a Conditional Use Permit for the outdoor storage of heavy equipment on Lot 1G, Block 1, Jacaman Ranch, Unit 1, located at 6320 Krone Lane; providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed Conditional Use Permit. Zc- 99-2003	
Initiated by: Fernando Chavarria		Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: None		
BACKGROUND Council District: V – Eliseo Valdez, Jr. Proposed use: Commercial. The outdoor storage of heavy equipment including a gooseneck trailer, a hydro jet trailer, two vacuum pump trucks, one backhoe, and one combination tractor trailer, to be used by the plumbing business on site. Note: The applicant asserts “the business is based on plumbing services. Service calls are dispatched from the office to the customer’s residence or their place of business. Our company’s equipment includes approximately 10 cargo vans, a gooseneck trailer, a hydro jet trailer, two vacuum pump trucks, one backhoe, and one combination tractor trailer. Our warehouse is located next to our offices, within which we store plumbing material for our own company use. This material is only for our own stock, it is not to be sold to the general public like a hardware store may. We also use the warehouse as a workstation to repair sewer line machines, cameras, and all other machinery. Note: Our service vehicles and equipment are stationed at the property during off peak hours only. During peak hours, vehicles and equipment will be out rendering service to customers. Off peak hours are 6pm to 8am everyday.” Site: The site is currently vacant. The site is zoned B-3 (Community Business District). Surrounding land uses: The site is currently surrounded by vacant and undeveloped land with the exceptions of Jacaman Road to the north and the Cummings Homes offices and a large development of condominiums which run along that thoroughfare. Comprehensive Plan: The Future Land Use Map recognizes this area as Retail/Office and Park/Recreational Open Space. Transportation Plan: The Long Range Thoroughfare Plan does not identify either Krone Lane, but does identify Jacaman Road as a Major Collector.		
Letters sent to surrounding property owners: 5 In Favor: 1 Opposed: 0		
STAFF COMMENTS Staff supports the issuance of the proposed Conditional Use permit. Though the current zoning permits the applicant’s primary use (a plumbing business), it does not permit the outdoor storage of inventory and equipment. Conditional uses are generally those land uses located in older sections of the City, which are not permitted by the site’s current zoning designation, but which are compatible with the surrounding land use pattern. Comments continued.....		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 5 to 0 vote, recommended approval of the Conditional Use Permit.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed Conditional Use Permit.

COUNCIL COMMUNICATION

STAFF COMMENTS CONTINUED:

Though not located in an older section of town nor in an area with an established land use pattern, the site is surrounded by large areas of B-3 and M-1 zoning and is located a significant distant from the nearest residentially zoned district. The proposed use is therefore compatible to its anticipated location and poses little if any possible negative impact on the surrounding commercially zoned area.

Staff recommends the following condition:

1. All relevant City of Laredo development requirements shall apply.
2. The Conditional Use Permit shall be issued to Fernando Chavarria and is nontransferable.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING A CONDITIONAL USE PERMIT FOR THE OUTDOOR STORAGE OF HEAVY EQUIPMENT ON LOT 1G, BLOCK 1, JACAMAN RANCH, UNIT 1, LOCATED AT 6320 KRONE LANE; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a Conditional Use Permit for the outdoor storage of heavy equipment on Lot 1G, Block 1, Jacaman Ranch, Unit 1, located at 6320 Krone Lane has been requested; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the Conditional Use Permit; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the Conditional Use Permit amendment appropriate and consistent with the General Plan of the City of Laredo.

WHEREAS, all conditions imposed by the Conditional Use Permit, and all pertinent requirements the Laredo Land Development Code shall be met before the activity sanctioned by the Conditional Use Permit may commence.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by authorizing a Conditional Use Permit for the outdoor storage of heavy equipment on Lot 1G, Block 1, Jacaman Ranch, Unit 1, located at 6320 Krone Lane.

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. All relevant City of Laredo development requirements shall apply.
2. The Conditional Use Permit shall be issued to Fernando Chavarria and is nontransferable.

Section 3: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

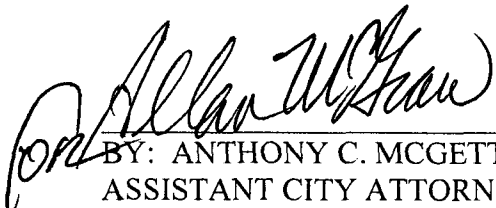
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

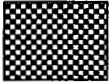
ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY



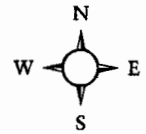
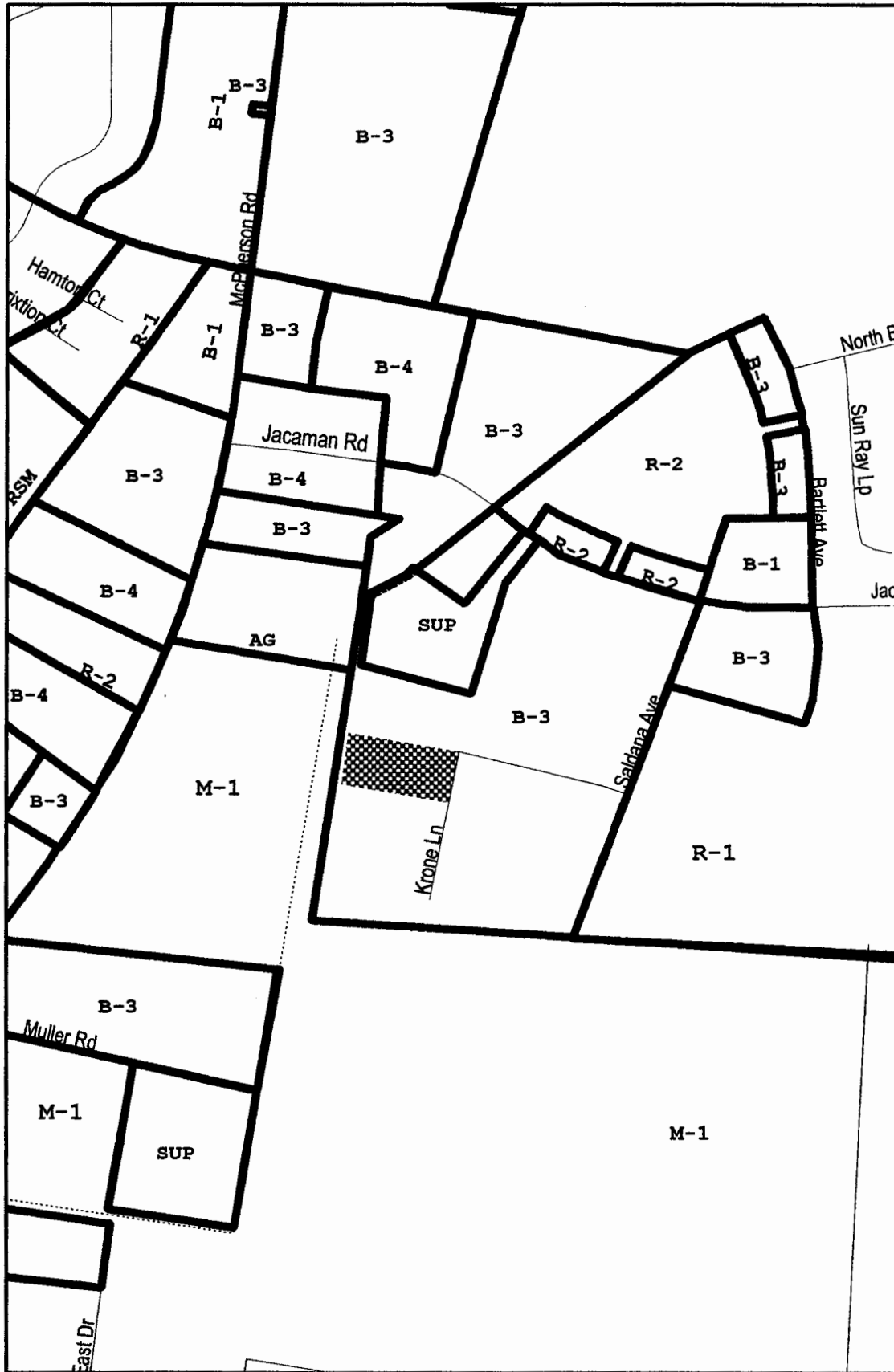
Request for a C.U.P. (Conditional Use Permit)

LOCATION: Krone Ln

ZC - 99 - 2003

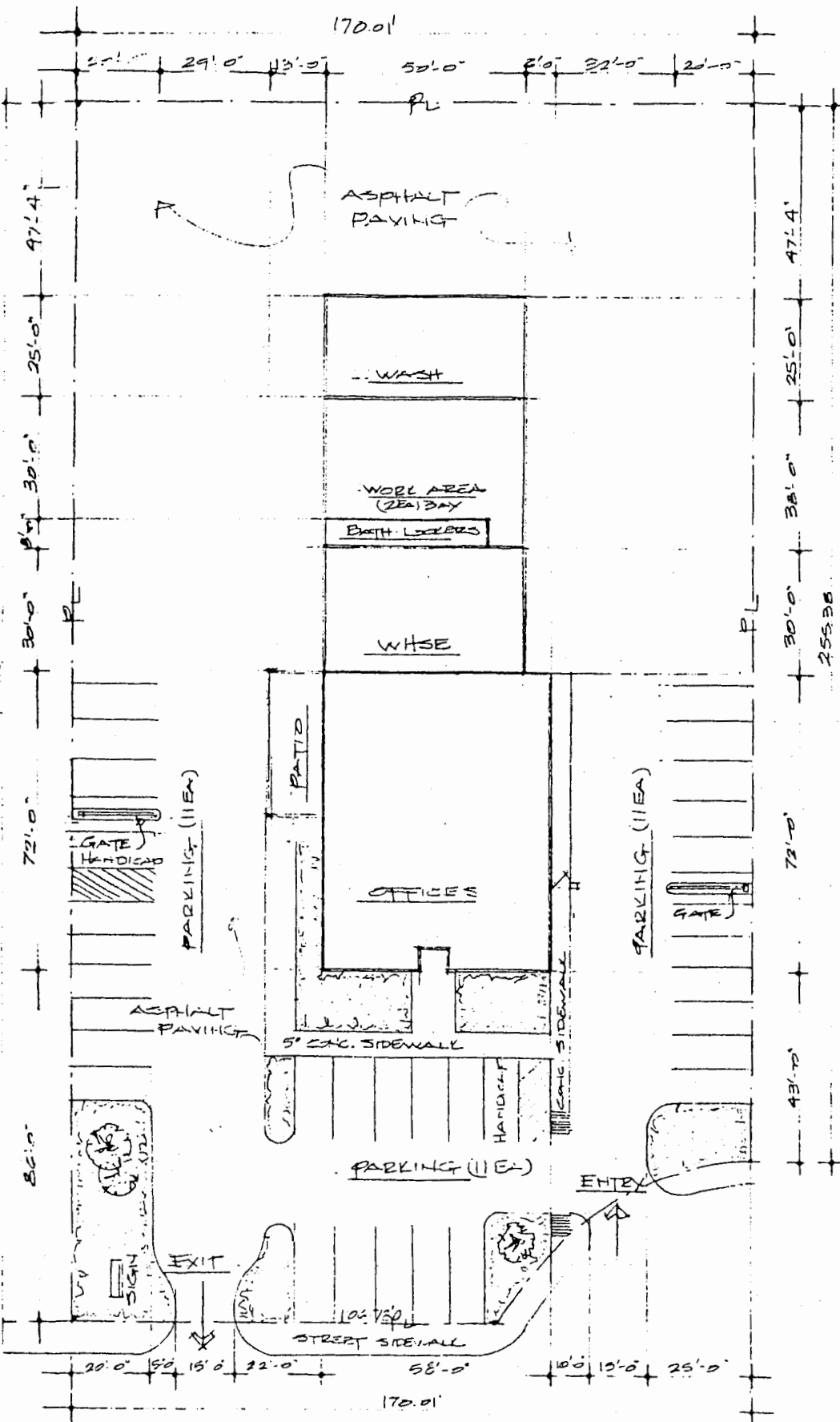
City of Laredo
Planning Department
Feet

500



City of Laredo
Zoning Map





LEGAL DESC.
 LOT 1-G
 BLOCK 1
 LUCAMIAN RANCH UNIT #1 REPLAT
 ADD: KRONE LN 73041

KRONE LN.
 SITE PLAN

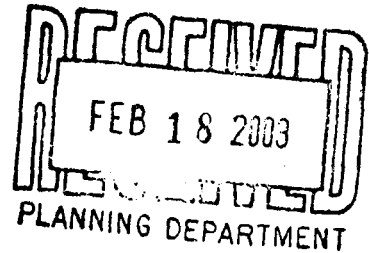
SCALE 1" = 20'-0"



P L U M B I N G

3207 E. PRICE ST. * LAREDO, TEXAS 78043

B 3 Zone
Enclose storage
EXPERT SEWER & DRAIN CLEANING



February 14, 2003

To: Keith Selman
City of Laredo
Planning and Zoning Dept.

From: Fernando Chavarria
3207 Price

Subject: Construction of permitted building on Lot 1-G, Block 1 Re-plat of lots 1A & 3A of Jacaman Ranch Unit 1

As per your request, the following is the description of how our business operates:

Our business is based on plumbing services

Service calls are dispatched from office to customer's residence or their place of business

Our equipment consists of service vehicles (approximately 10 cargo vans), a gooseneck trailer, hydro jet trailer, two vacuum pump trucks, one backhoe, and one combination tractor trailer

Next to our office is a warehouse in which we store plumbing material for our own company use. This material is only for our own stock, it is not to be sold to the general public like a hardware store may.

We also use the warehouse as a workstation to repair sewer line machines, cameras, and other small machinery

Note: Our service vehicles and equipment are stationed at the property during off peak hours only. During peak hours, vehicles and equipment will be out rendering service to customers. Off peak hours are 6pm to 8am of everyday.

Our company has been in business and at this location since 1979. This company currently operates from a residential zone and is located at 3207 Price St. We request that our business be set up in a B-3 zone. This anticipated transition to a new property will not be any different than it currently is. We feel this move from one location to another is very necessary because our company has outgrown itself.

I will respect and comply with all city codes and regulations. In return, I expect full cooperation from you.

If you have any questions, please do not hesitate to call me at 723-7705.

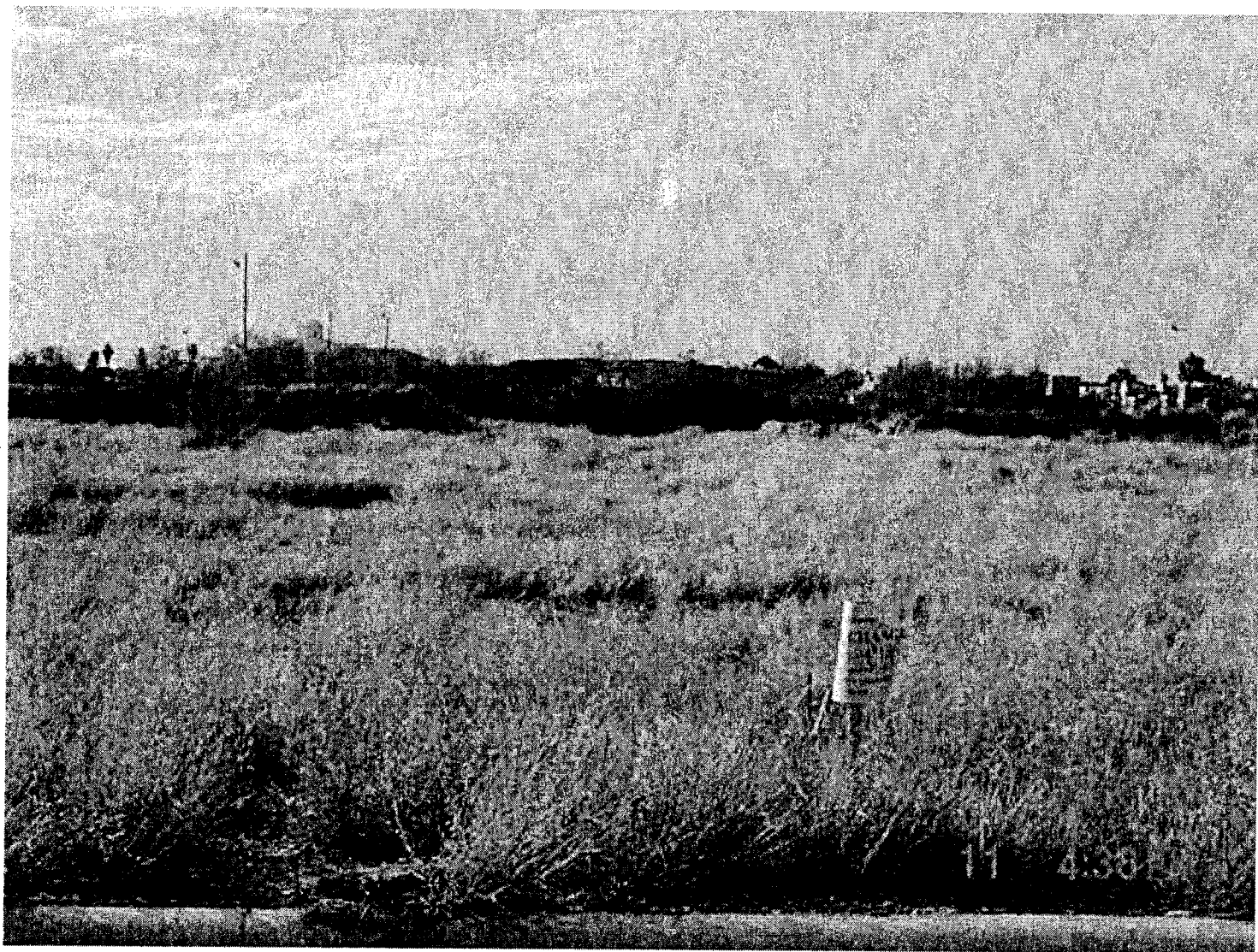
At Your Service,


Fernando Chavarria



Off: (956) 723-7705
Fax: (956) 725-1574

FULLY EQUIPPED, RADIO DISPATCHED TRUCKS, 24 HOUR... 7 DAY SERVICE



ZC-99-2003

COUNCIL COMMUNICATION

Date: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing a Planned Unit Development Specific Use Overlay District on Lot 1A, Block 1, Pan American Mobile Home Park, located approximately at 4502 Game Creek Road; providing for publication and effective date. The Planning and Zoning Commission has recommended denial of the proposed Planned Unit Development Specific Use Overlay District. ZC-100-2003
Initiated by: Julia M. Ruhlman	Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
Prior action: On 04/17/03, the Commission recommended approval of an AG (Agricultural District) to R-1MH (Single Family Manufactured Housing District) zone change. On 06/02/03, Council approved Ordinance No. 2003-O-125 authorizing the rezoning of the site.	
BACKGROUND <p>Council District: VII - Jose A. Valdez, Jr.</p> <p>Proposed use: Residential (The applicant is proposing 3500 (35'x100'), 3850 (35'x110), and 4000 (40'x100') square foot lots for site built homes on approximately 26 acres.</p> <p>Site: The site is currently occupied by the Pan American Mobile Home Park.</p> <p>Surrounding land uses: The area is almost completely surrounded by vacant and undeveloped land with the exception of the Pan American Business Park farther to the southeast.</p> <p>Comprehensive Plan: The Future Land Use Map recognized this area as Low Density Residential.</p> <p>Transportation Plan: The Long Range Thoroughfare Plan recognizes Mines Road as a Truck Route at this location.</p> <p>Letters sent to surrounding property owners: 1 In Favor: 0 Opposed: 0</p>	
STAFF COMMENTS <p>The proposed PUD overlay district is inappropriate for the site. A Planned Unit Development overlay zone permits development of more flexible area, setback, density and right-of-way standards than are otherwise allowed. The applicant has not demonstrated either an amenity package or design constraint which would necessitate the variation of the above mentioned parameters. Furthermore, the current R-1MH zoning, which allows both single family detached and single family manufactured dwelling units, already calls for nearly the lowest lot area dimensional requirements under the Code, 4500 and 4200 square feet, respectively.</p> <p>Planned Unit Development Overlay District - purpose is to enable the development of property and projects which because of design considerations, topographical features, environmental and/or other land use considerations may justify mixed uses, special dimensional standards, substitution of standards, or waiver of standards within a specified area.</p>	
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 3 to 2 vote, recommended denial of the Planned Unit Development Specific Use Overlay District.	STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed Planned Unit Development Specific Use Overlay District

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY AUTHORIZING A PLANNED UNIT DEVELOPMENT SPECIFIC USE OVERLAY DISTRICT ON LOT 1A, BLOCK 1, PAN AMERICAN MOBILE HOME PARK, LOCATED APPROXIMATELY AT 4502 GAME CREEK ROAD; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a Planned Unit Development Specific Use Overlay District on Lot 1A, Block 1, Pan American Mobile Home Park, located approximately at 4502 Game Creek Road has been requested; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on December 18, 2003; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed Planned Unit Development Overlay District; and,

WHEREAS, notice of the Planned Unit Development Overlay District request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 12, 2004, on the request and finds the Planned Unit Development Overlay District appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by authorizing a Planned Unit Development Specific Use Overlay District on Lot 1A, Block 1, Pan American Mobile Home Park, located approximately at 4502 Game Creek Road.

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

CITY OF LAREDO ORDINANCE NO.

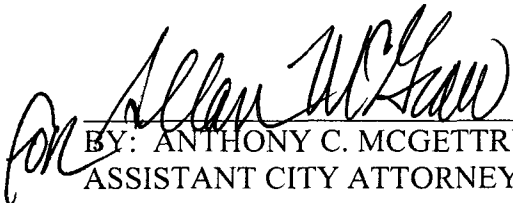
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

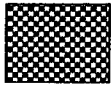
ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY


BY: ANTHONY C. MCGETTRICK
ASSISTANT CITY ATTORNEY

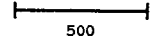


**Rezone from R-1MH(Single Fam. Manufac. Hous. Dist.)
To P.U.D. (Planned Unit Development)**

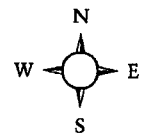
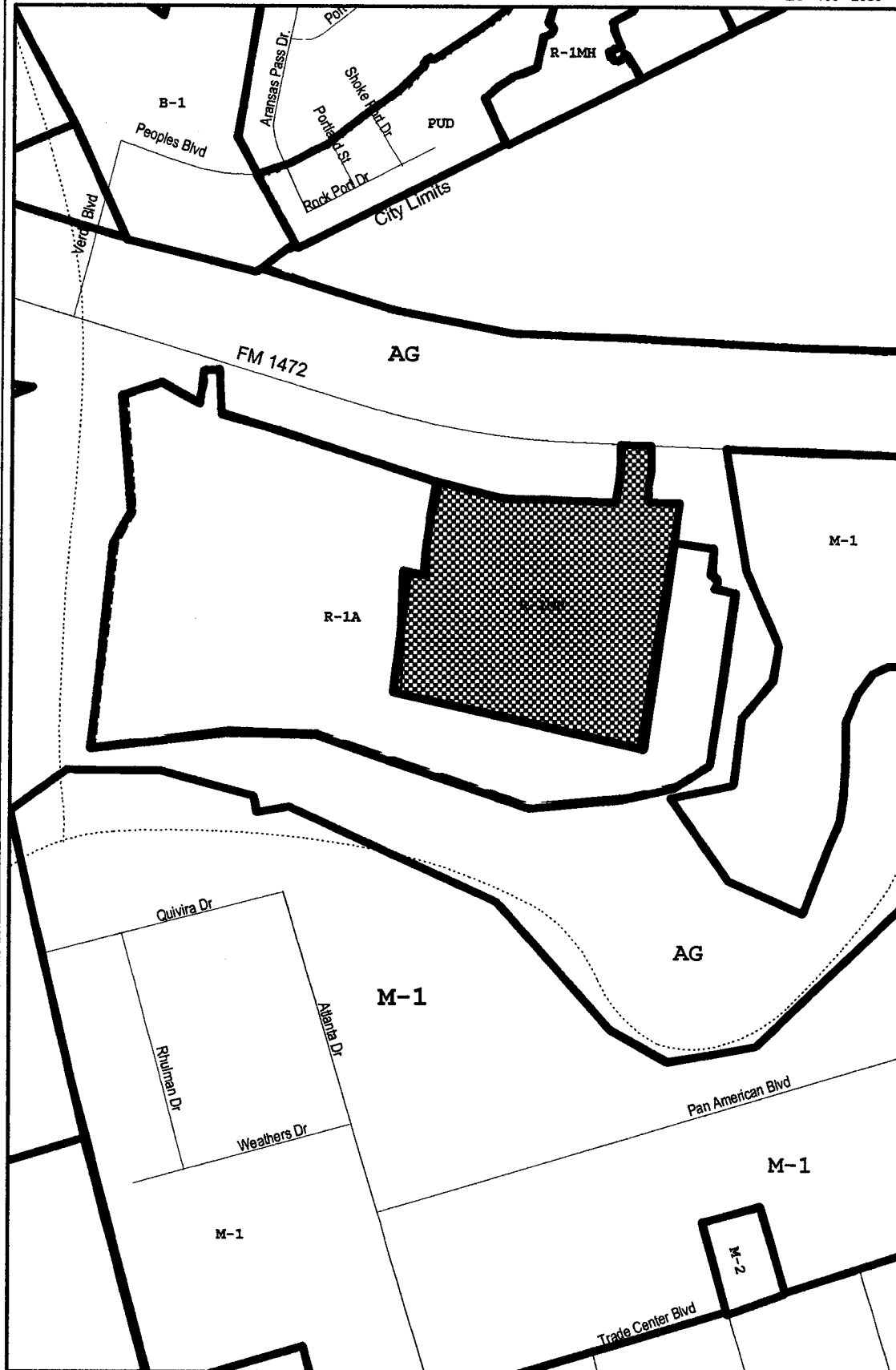
LOCATION: 4502 Game Creek Blvd

ZC - 100 - 2003

City of Laredo
Planning Department
Feet

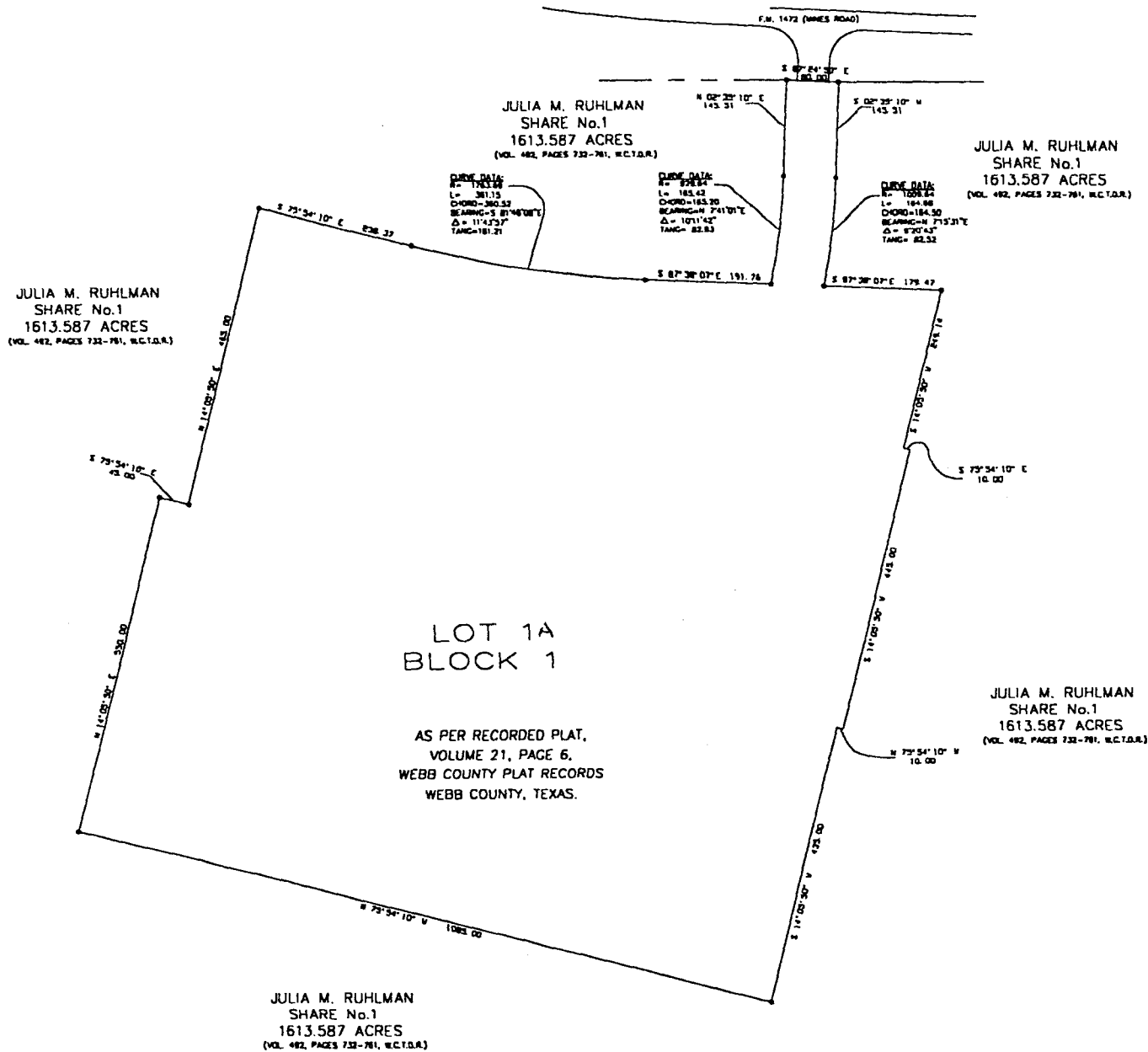


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**City of Laredo
Zoning Map**

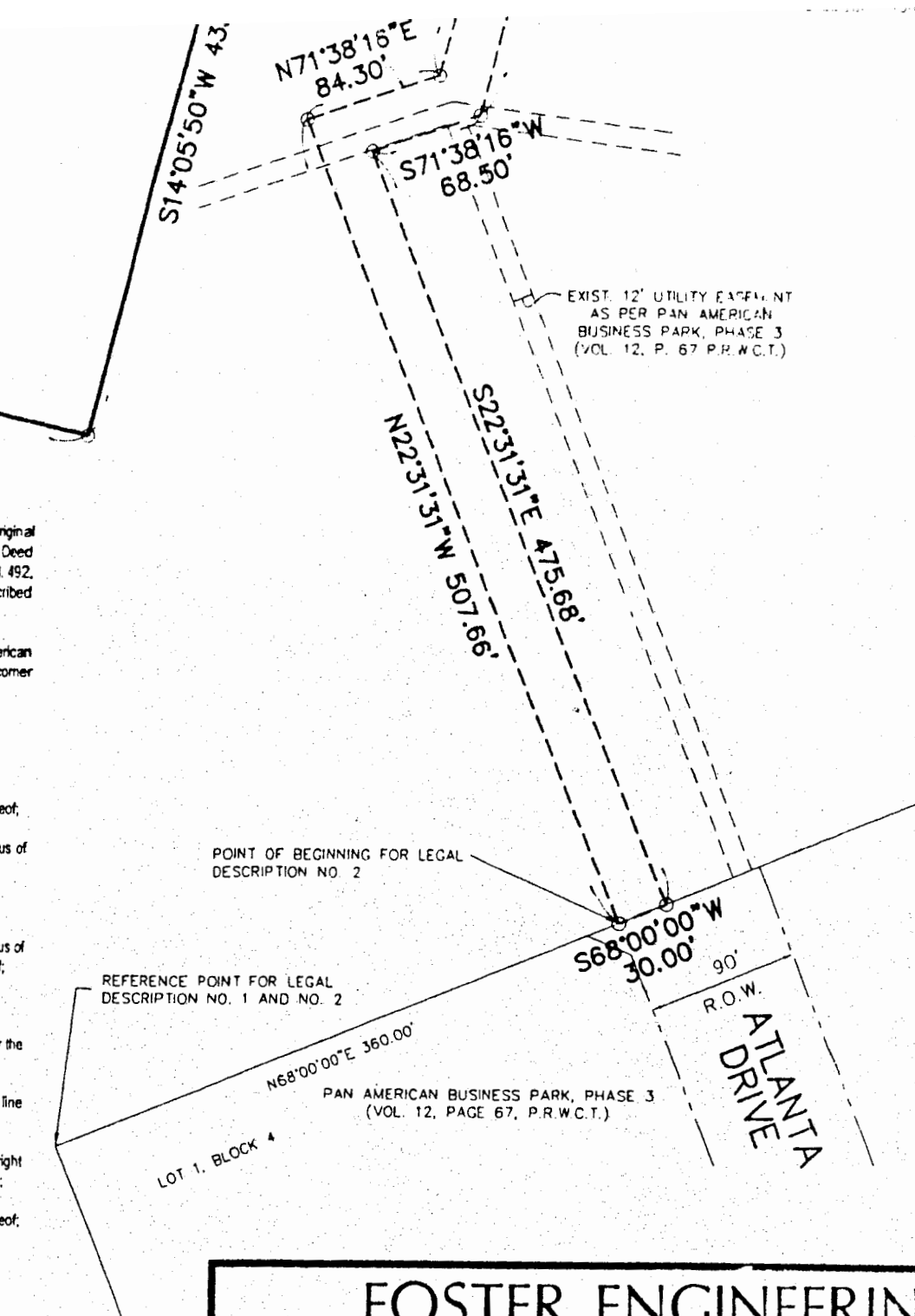




1202 HOUSTON STREET, SUITE 200
LAREDO, TEXAS 78040
OFFICE: (956) 725-5057
FAX: (956) 725-7070

SITE PLAN

DESIGN BY: JCN
CHECKED BY: CVM
APPROVED BY: CVM
DATE: MARCH 27, 2003
JOB #:
FILE NAME: F/A/PANAMERICANSUB/BASE
SHEET 1 OF 1



FOSTER ENGINEERING CO.
LAREDO, TEXAS

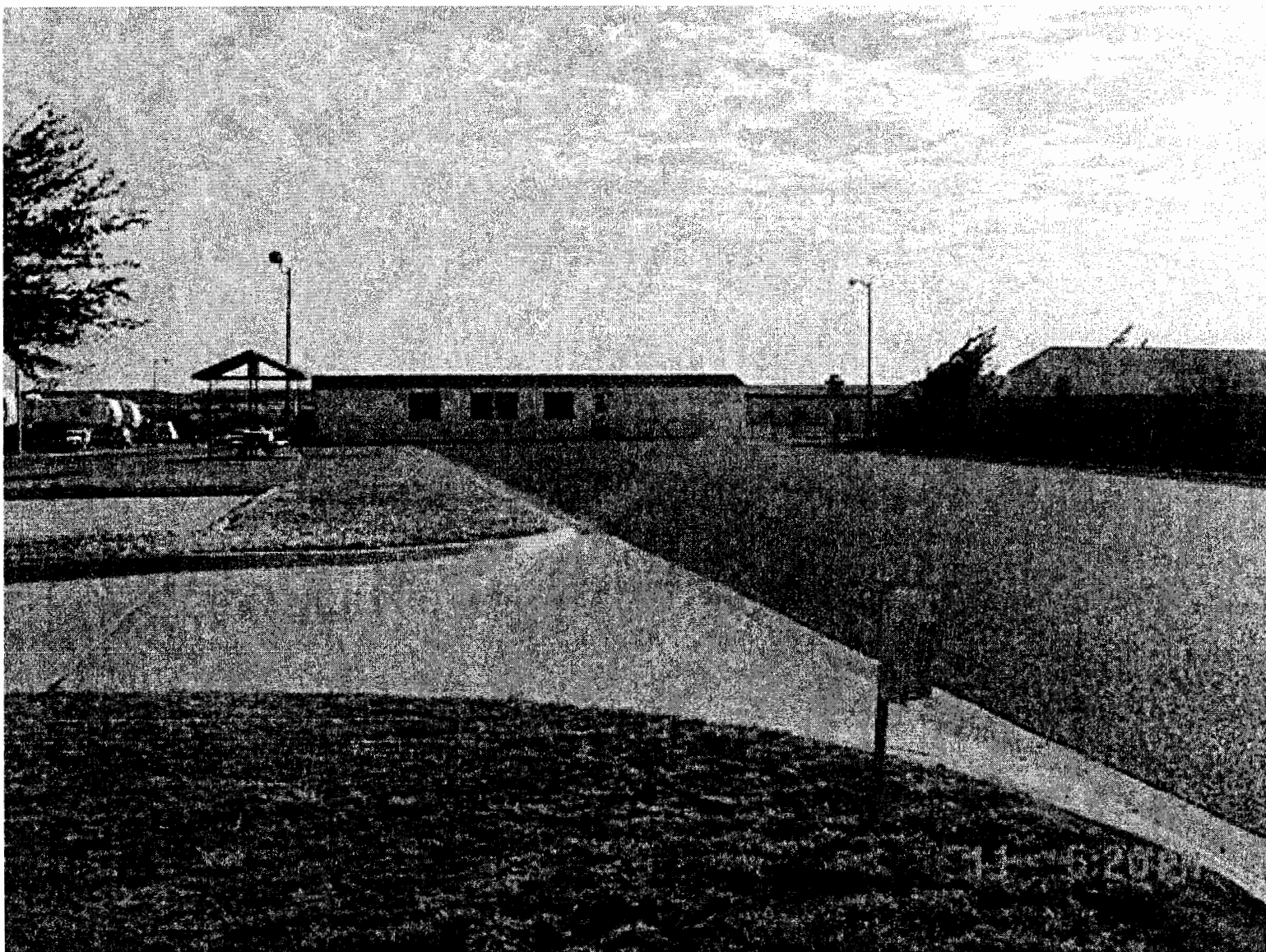
LOT 1A, BLOCK 1, PAN AMERICAN MOBILE HOME PARK

BEING A REPLAT OF

PAN AMERICAN MOBILE HOME PARK

RECORDED IN VOL. 17, PAGE 22, PLAT RECORDS OF WEBB COUNTY, TEXAS

FILE:	PAMPH.DWG	DATE:	08-23-00
DRAWN BY:	RAR/GJL	REVISED DATE:	10-17-00
CHECKED BY:	O.J.S.	SCALE:	1"=100'
APPROVED BY:	J.E.F.	SHEET	1 OF 1



ZC-100-2003

COUNCIL COMMUNICATION

DATE: 01/08/04	SUBJECT: : PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Amending Article I Section 24.1.3.2, Responsibilities of the Board of Adjustment, Creating Section 24.1.8, Standard Technical Specification Manual Committee, Creating Article III Section 24.58, Standard Technical Specification Manual, Creating Article VI Section 24.96, Amendment Procedures for the Standard Technical Specification Manual, of the Laredo Land Development Code of the City of Laredo, providing for publication and effective date. The Planning and Zoning Commission has recommended approval of the proposed ordinance.	
INITIATED BY: City of Laredo City of Laredo Builders Association		STAFF SOURCE: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager
PREVIOUS COUNCIL ACTION: This item was introduced by Gene Belmares at the City Council Meeting of 10/20/03. Due to substantive changes from the original draft, a re-introduction is required.		
BACKGROUND: Currently there are no standard specifications for the construction of public improvements. The creation of a specification manual will provide a mechanism to standardize all public improvements both municipal and developer sponsored.		
FINANCIAL IMPACT: None.		
P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended approval of the proposed ordinance.		STAFF RECOMMENDATION: Staff <u>supports</u> the proposed ordinance.

CITY OF LAREDO ORDINANCE NO. 2004-O-

AMENDING ARTICLE I SECTION 24.1.3.2, RESPONSIBILITIES OF THE BOARD OF ADJUSTMENT, CREATING SECTION 24.1.8, STANDARD TECHNICAL SPECIFICATION COMMITTEE, CREATING ARTICLE III SECTION 24.58, STANDARD TECHNICAL SPECIFICATION MANUAL, CREATING ARTICLE VI SECTION 24.96, AMENDMENT PROCEDURES FOR THE STANDARD TECHNICAL SPECIFICATION MANUAL, OF THE LAREDO LAND DEVELOPMENT CODE OF THE CITY OF LAREDO, PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, no standard specification manual currently exists for construction associated with the subdivision process and major municipal projects; and,

WHEREAS, the creation of a standard specification manual will provide a mechanism to simplify and clarify fundamental construction issues; and,

WHEREAS, a standard specification manual is a typical and acceptable development practice used by municipalities to ensure sound development; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended approval of the ordinance; and,

WHEREAS, notice of the ordinance was advertised in the newspaper at least fifteen days prior to the public hearing held before the City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on January 8, 2004, and finds the ordinance appropriate and consistent with the General Plan of the City of Laredo.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Article I, Section 24-1.3, Zoning Board of Adjustment, of the City of Laredo Land Development Code Ordinance is hereby amended to read as follows:

Section 24-1.3. ZONING BOARD OF ADJUSTMENT

Section 24.1.3.1. ORGANIZATION.

(1) A Zoning Board of Adjustment is created consisting of 5 members and four alternates. The Mayor and council members shall nominate one member each. By lottery the first five nominees selected shall be regular members and the remaining four shall be alternate members for a two year term. The two year term of a member or alternate shall run concurrently with that of the Mayor and council member who made the nomination. A member appointed to fill a

vacancy shall serve for the unexpired term. No member shall serve more than four years. Hearings before the Zoning Board of Adjustment shall be public. The Board shall elect a Chairperson and Vice-Chairperson. The Board shall act by motion in which not less than four (4) concurring votes are required to reverse an administrative decision or to grant a variance.

(2) The Board may call upon the employees of the City Planning Department, Development Services Department, for assistance in the performance of the administrative duties of the Board.

(3) The Board shall establish policy and guidelines that will assist in making its determination.

(4) No Board member shall abstain from voting unless there is a conflict of interest, including the Chairperson, and four (4) members constitute a quorum.

(5) In the absence or disability of a Board member, an alternate shall serve in the same capacity, and with the same duties and responsibilities as a member.

(6) A Board member may be removed for cause on a written charge after a public hearing. An alternate is subject to removal on the same basis as a Board member.

Section 24.1.3.2. RESPONSIBILITIES OF ZONING BOARD OF ADJUSTMENT

The Zoning Board of Adjustment shall have the following duties, responsibilities and authority:

(1) Administrative Appeals. To hear and decide appeals where it is alleged that there is an error in any order, requirement, or zoning use interpretation by the Building Official, or other city officer.

(2) Substantive Appeals. To hear appeals to grant special variances in the following instances:

(a) Permitting the reconstruction of a damaged, non-conforming building.

(b) Varying the building set-back, height, distance and area requirements in peculiar and unusual circumstances which would prevent the reasonable use of the land.

(c) The Board shall have no authority to grant variances to the specific performance standards relating to off-street parking and loading; signs and outdoor advertising; fencing; landscaping; or development standards except as specifically provided.

(d) The Board shall have no authority to grant variances to specifications in the Standard Technical Specification Manual.

Section 24.1.3.3. STANDARDS FOR GRANTING VARIANCES, APPEALS, AND PERMITS

(1) The Board in making its decisions shall be governed by the following basic standards:

- (a) The basic spirit and intent of this ordinance, and the City's comprehensive master plan.
- (b) The protection of residential property values.
- (c) The health and safety of the general citizenry of Laredo.
- (d) In applicable cases, the protection of the historic and cultural aspects of the city.
- (e) In applicable cases, that the strict enforcement of this ordinance shall deny the property owner the use of his property for any reasonable land use, except as may be specifically stated in variances for parking and loading requirements.
- (f) That the essential character of the neighborhood is preserved.

Section 2: Article I, Section 24-1.8, Standard Technical Specification Committee of the City of Laredo Land Development Code Ordinance is hereby created to read as follows:

Section 24-1.8. STANDARD TECHNICAL SPECIFICATION MANUAL COMMITTEE

Section 24.1.8.1. ORGANIZATION.

(1) A Standard Technical Specification Manual Committee is created consisting of 11 members. The Committee shall be made up of The Planning Director, The City Engineer, The Director of Utilities, The Environment Services Director, Traffic Safety Director, and 6 representatives from the development community to be appointed by the Laredo Builders Association. The Committee shall elect a Chairperson and Vice-Chairperson. The Committee shall act by consensus. In the event no consensus can be reached, the point of debate will proceed to City Council with a recommendation from dissenting positions for action.

(2) The Committee shall establish policy and guidelines that will assist in making its recommendations.

(3) In the absence or disability of a Committee member, an alternate shall serve in the same capacity, and with the same duties and responsibilities as a member.

Section 24.1.8.2. RESPONSIBILITIES OF STANDARD TECHNICAL SPECIFICATION MANUAL COMMITTEE

The Committee shall have the following duties, responsibilities and authority:

(1) The Committee shall, on an annual or as needed basis, review the Standard Technical Specification Manual. If no revisions are proposed, the Chairman of the Committee shall prepare correspondence to the City Manager, Mayor, and City Council Members. In the event

revisions to the manual are proposed, or dissention exists within the Committee on one or more issues, recommendations shall be forwarded to the City Council for consideration of revisions to the manual.

(2) Administrative Appeals. To hear and decide appeals where it is alleged that there is an error in any order, requirement, or interpretation of the Standard Technical Specification Manual by any city officer. Interpretations shall be incorporated into Division D, Section 810, of the Standard Technical Specification Manual.

(3) The Committee shall not hear appeals for variance to the Standard Technical Specification Manual.

Section 3: Article III, Section 24-58, STANDARD TECHNICAL SPECIFICATION MANUAL of the City of Laredo Land Development Code Ordinance is hereby created and attached hereto as Appendix A.

Section 24-58. STANDARD TECHNICAL SPECIFICATION MANUAL

Section 24-58.1 Purpose

The purpose of the Standard Technical Specification Manual is to provide standardized procedures and materials for the orderly construction and installation of public improvements.

Section 24-58.2 Applicability

The Standard Technical Specification Manual shall apply to all public improvements. Divisions A, B, C, and D of the Standard Technical Specification Manual shall apply to any public improvement to be awarded or constructed by the City of Laredo. Divisions A, C, and Sections B-1,2,3, and 5 are not applicable to public improvements associated with the private platting of properties.

Section 24-58.3 Optional Specifications Permissible

Where circumstances warrant, or at the request of the engineer of record, a separate set of specifications for development or public improvements may be submitted to the City Engineer for approval. Under no circumstances shall an engineer submit, nor shall the City Engineer approve, specifications less restrictive than those provided in the manual.

In the event the manual does not address some facet of a proposed development or public improvement, a separate set of specifications shall be submitted by the engineer of record for approval by the City Engineer.

Section 4: Article VI, Section 24-96, AMENDMENT PROCEDURES FOR THE STANDARD TECHNICAL SPECIFICATION MANUAL is hereby created to read as follows:

Section 24-96.1 General

The Standard Technical Specifications Manual shall be, at a minimum, reviewed on an annual basis by the Standard Technical Specifications Committee. Recommendations for revision shall be forwarded to City Council. Prior to City Council consideration, a public hearing on any proposed amendments shall be held before the Planning and Zoning Commission. The Planning and Zoning Commission shall forward a recommendation on the proposed amendments to the City Council.

Section 24-96.2 Action Required

The Standard Technical Specification Manual may be revised by ordinance after a public hearing by majority vote of the City Council. Recommendations by the Committee and Commission shall be submitted to the City Council with any proposed revision.

Section 5: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 6: This ordinance shall become effective as and from the date of publication specified in Section 2.

Section 7: Severability

If any provision, section, subsection, sentence, clause, or phrase of this ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this ordinance that no portion hereof or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity of another portion hereof, and all provisions of this ordinance are declared to be severable for that purpose.

Section 8: Open Meetings

The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the city hall of the City for the time required by law preceding this meeting, as required by the Texas Government Code Chapter 551 et.al.; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter approves and confirms such written notice and the contents and posting hereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

MAYOR ELIZABETH G. FLORES

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY

Allan W. McGraw
BY: ~~ANTHONY C. MCGETTRICK~~ *ALLAN W. McGraw*
ASSISTANT CITY ATTORNEY

**SECTION 104
PVC WATER PIPE**

D-104.01 GENERAL

1. Description

This work shall consists of the construction, complete in place of PVC Water Pipe as specified herein, and in conformity with the lines, grades, dimensions, materials, and design shown on the plans.

D-104.02 PRODUCTS

1. Polyvinyl Chloride Water Pipe

A. GENERAL

All polyvinyl chloride (PVC) water pipe shall of the rigid (UNPLASTICIZED) type and must bear the National Sanitation Foundation seal of approval for potable water pipe. Each joint of pipe shall consist of single continuous extrusion; bells or other components attached by solvent welding are not acceptable. Pipe shall be pressure rated at 200 psi (DR 14, C-900) as indicated.

Pipe shall have push-on, rubber joints of the bell and spigot type with thickened general bells with rubber gasket joints. The wall thickness of each pipe bell and joint coupling must be greater than the standard pipe barrel thickness. Clearance must be provided in every gasket joint for both lateral pipe deflection and for linear expansion and contraction. Concrete thrust blocking shall be placed behind bends and tees. Concrete support cradles or blocking shall be required for support of all fire hydrants, valves and AWWA C110 fittings; such support shall be provided for AWWA C153 fittings when required by the Engineer.

B. APPLICABLE SPECIFICATIONS

Except as modified or supplemented herein, PVC pipe shall meet the following standards:

-DR 18, C-900, Class 150 PVC Pipe may be used for installation of water mains 8” to 12” not deeper than 8 feet, with the condition that contractor provides to the City of Laredo a written 2 year warranty to begin from the time final inspection and approval has been provided by the Utilities Department. All installation methods, testing procedures and backfilling requirements must be followed as per these specifications applicable to the DR-14, C-900, Class 200, PVC Pipe.

- AWWA C-900, DR 14 for PVC Pressure Pipe, in 2, 6, 8 and 12 inches nominal size, having Cast Iron size outside diameters in trenches greater than or equal to a depth of 10 ft.
- Fittings used with PVC Pressure pipe shall be AWWA C-110 or AWWA C-153 compact ductile iron fittings.
- Any pipe 16” or greater requires a separate specification submittal.

Standard sizes, dimensions and tolerances shall be as follows:

Nominal	Outside Avg.	Diameter	Wall Min.	Thickness
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Size (inches)	(inches)	Tolerance (inches)	(inches)	Tolerance (inches)
6	6.900	+0.011	0.493	+0.046
8	9.050	+0.015	0.646	+0.060
12	13.200	+0.015	0.943	+0.088

All pipe 2" and larger must be approved Underwriter's Laboratories for use in buried water supply and fire protection systems.

C. MATERIAL REQUIREMENTS

All pipe and fittings shall be made from clean, virgin, NSF approved, Class 12454B PVC. Clean reworked materials generated from the manufacturer's own production may be used within the current limits of the referenced AWWA C-900.

D. MARKING

Permanent marking on each joint piece shall include the following at intervals of not more than 5 feet:

- Nominal pipe size and OD base (e.g., 4 CIPS)
- The type of plastic material (e.g., PVC 12454B)
- The Standard Dimension Ratio and the pressure rating in psi for water at 73 F (e.g., DR 14, 200 psi).
- The AWWA designation with which the pipe complies (e.g., AWWA C-900).
- The manufacturer's name or code and the National Sanitation Foundation (NSF) mark.

E. TRACER TAPE

For all non-metallic pipe 8" and larger, directly above centerline of the pipe and approximately 12" below the road base or 18" below finished grade, whichever is greater, shall be placed Conductive Tracer Detection Tape. The tape shall be encased in a protective, inert, plastic jacket and color coded in accordance with APWA Uniform Code.

D-104.03 EXECUTION

1. Excavation

Trench all shall be straight. The minimum width of trench excavation shall not be less than the internal diameter of the pipe plus twelve (12") inches. The pipe shall have a minimum cover of 36" unless shown otherwise on the plans.

2. Embedment Using Gravel or Granular Material

In earth trench, they shall be placed on the natural undisturbed earth foundation, with the trench bottom flat.

Where rock shale, or boulders are encountered in the trench, the same shall be removed to a depth of 6" below the grade line and the trench shall be refilled with good, sound earth, gravel, or granular material up to the original grade and tamped into place.

3. Laying Pipe

Pipe shall not be laid where the subgrade is in a condition unsatisfactory to the Engineer. If subgrade is soft, spongy, or disintegrated, the material shall be removed until a firm, stable and uniform bearing is reached and the subgrade brought back to grade with suitable materials thoroughly compacted in place. Embedment for the pipe or the pipe itself will NOT be laid in water.

Where pipe is installed beneath railroad tracks, construction clearance to cross under railroad trackage shall be obtained by Contractor from proper railroad authorities. Any expense of bracing or support to tracks during excavation operation beneath trackage shall be considered part of the contractor.

Where pipe shall be installed beneath State Highways, construction clearance and other requirements to cross under State Highways shall be obtained from State Highway District Engineer by Contractor.

Proper barricades and flares shall be paced and maintained to assure maximum traffic and pedestrian safety, or as directed by Local, Railroad, State Highway authorities or other governing agencies.

Owner will obtain all general permits for construction, and will make formal applications rights to cross canals railroads, highways, etc., but Contractor must cooperate fully with all agencies involved while construction in areas controlled by such agencies.

Before pipe is laid, all dirt shall be removed from inside; and all lumps, blisters, excess coal tar, dirt, oil, and grease removed from both inside and outside of pipe.

After pipe is laid, care shall be taken to avoid entrance of dirt, water or small animals by use of tight bulk heads in all openings.

4. Service Saddles

Service saddles shall be of the un-hinged type on PVC Class 900 pipe (size 6" to 12"). The saddle body and bottom is to be of 85-5-5-5 solid brass material as per ASTM B-62, single width with a minimum of two (2) silicone bronze bolts and a cc-thread.

Bronze saddles with bronze bolts must meet the latest revision of AWWA specifications for saddles to be used on Class 900 PVC pipes.

-Saddles 6" to 12" are to be Jones J-996, or approved equal.

-Saddles 14" to 16" are to be Jones J-979, or approved equal

These specifications are not intended to eliminate any material or equipment of equal quality and purpose of that specified, but instead designed to set standards. If the contractor wishes to use equal material or equipment, he shall submit a sample and/or written proof of quality that substitute is of equal or better quality to Engineer and Water Utilities Engineer and shall function as these plans and specifications intend.

5. Pipe Joints

Manufacturer's recommendations shall be followed. Under no circumstances joints will be subject to full hydrostatic pressure until after the joint has cured for 8 hours.

6. Installation

No tapping, or threading of plastic pipe shall be permitted on pipe with a wall thickness less than Schedule 80.

The pipe fittings and couplings shall at the same temperature when joints are made. Before the solvent is applied, the joint shall be tested for dry fit. The dry fit should be snug. If the dry fit is such because of improperly sized pipe, likewise, if the pipe is out-of-round to the extent that force is required to place the fitting on the pipe, the pipe shall be rejected. Building up the joint for undersized pipe with multiple layers of solvent cement or "shaving" the end of the pipe shall not be permitted.

Tees for service lines or laterals must be assembled so that no strain is placed on the pipe during or after the backfill operation.

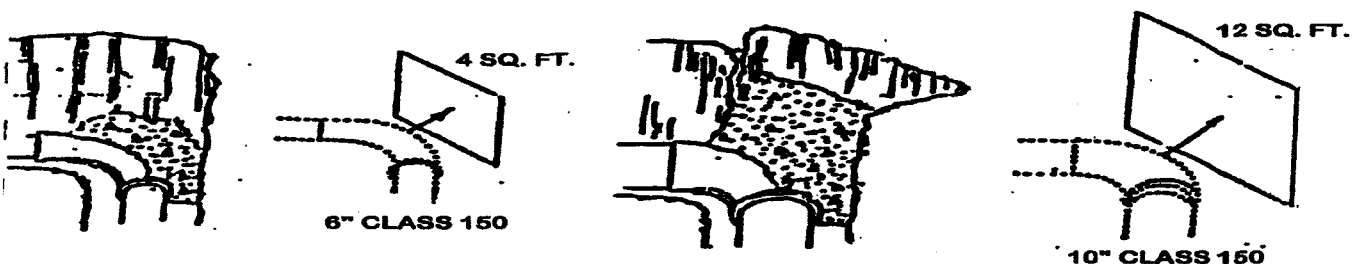
The plastic pipe must be handled with reasonable care so that it is not crimped or damaged when placed in the trench.

All plastic pipes shall be installed in accordance with the recommendations of the pipe manufacturer.

7. Concrete Thrust Blocks

Thrust blocks shall be made of concrete and shall be installed whenever the pipe line changes direction, as at tees and bends; changes size, as at reducers (also some crosses and tees); stops, as at dead end; or is expected to develop thrust at valves. The concrete mix used should be of a minimum strength of 2500 psi and as specified by Engineer.

The size and type of thrust block depends on pressure, pipe size, kind of soil, and the type of fitting. The illustration below shows how the area of a thrust block for resisting horizontal thrusts must increase as the pipe size increases for a given pressure.

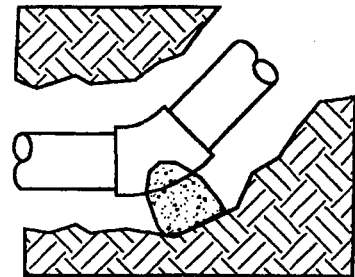
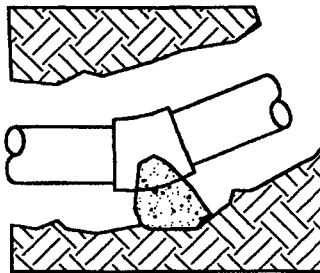
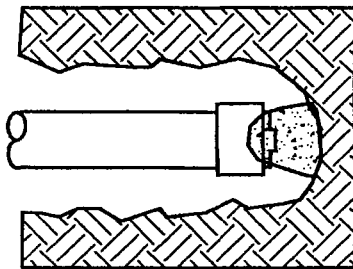
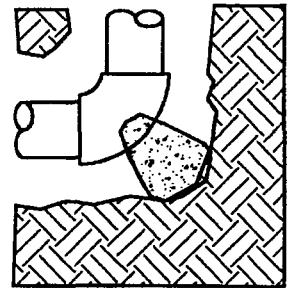
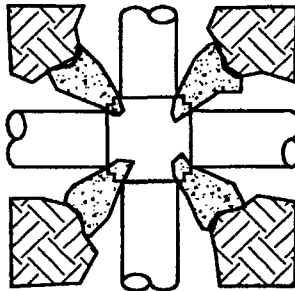
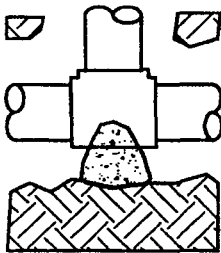
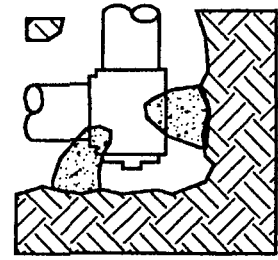
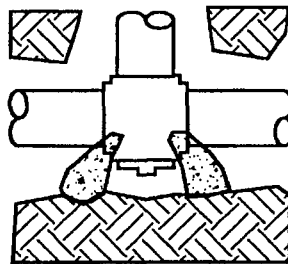
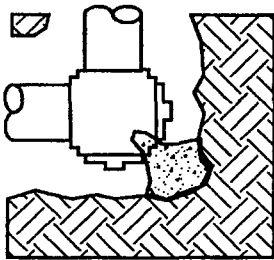


TEE		90 BEND		45 BEND		22 1/2 BEND		
Pipe	Thrust	Min.	Thrust	Min.	Thrust	Min.	Thrust	Min.

Size	(PSF)	Reqd. Area S.F.	(PSF)	Reqd. Area S.F.	(PSF)	Reqd. Area S.F.	(PSF)	Reqd. Area S.F.
6"	5700	3	8055	4	4365	2	2205	1
8"	9870	5	13950	7	7560	4	3825	2
10"	16125	8	22800	12	12360	6	6255	3
12"	22965	12	32460	16	17580	9	8910	5
14"	31155	16	44040	22	23865	12	12090	6
16"	40320	20	57015	29	30885	16	15645	8

Thrust based on 150 psi water pressure. Area based on 2,000 psf soil bearing

The location of thrust block depends on direction of thrust and type of fitting as shown below.



If thrusts due to high pressure are expected, anchor valves as shown above.

At vertical bends, anchor resists outward thrust.

8. Storage

Storage of PVC shall be in the shade or shall be covered with a suitable cover. PVC pipe shall not be exposed to the sun longer than 24 hours while being laid.

9. Hydrostatic Tests

All pipe lines constructed under this contract before being accepted shall be tested with a hydraulic test according to *Section 114 "Hydrostatic Tests for Pressure Mains"*.

The contractor will be required to furnish adequate and satisfactory equipment and supplies necessary to make such hydrostatic tests.

If the tests indicate leakage in excess of a rate equal to twenty-five (25) gallons per inch of nominal diameter of pipe line per mile over a twenty-four period, then the Contractor will be required to find the leak and eliminate same. All known leaks shall be stopped regardless of this test requirement.

The cost of testing and finding leaks and repairing the same and re-testing, if necessary, shall be at the expense of the Contractor. The water required to fill the lines shall be furnished by the Contractor.

10. Line Disinfection

The completed water line shall be disinfected according to *Section 116 "Disinfection of Potable Water Mains"*.

The chlorinated water shall then be discharged from the water line and replaced with fresh potable water.

The Contractor will furnish all labor materials and equipment necessary to complete the proper disinfection of the line and the cost of this operation shall be included in the bid price for installation of the distribution system.

11. Measurement

PVC pipe will be measured for payment in linear feet along the center line of the trench. No deduction will be made for valves and fittings.

12. Payment

PVC pipe will be paid for at the unit price per linear foot, complete in place, as provided in the proposal and contract. The contract price per linear foot shall be the total compensation for the furnishing of all labor, materials, tools, equipment, and incidentals necessary to complete work, including excavation, granular embedment material, backfill, and disposal of surplus materials, in accordance with the plans and these specifications.

SECTION 202 PVC SEWER PIPE

D-202.01. GENERAL

1. Submittals:

- A. Test Results: Include results of tests with shipment of materials. Furnish 2 additional copies of test results to Engineer.
- B. Submit in accordance with the Standard General Conditions and Supplementary Conditions.
- C. Contractor shall submit all final testing reports for deflection testing and for low pressure air testing of sewer pipe in accordance with Section B- Testing Sewer Systems.

D-202.02. PRODUCTS

1. Polyvinyl Chloride (PVC) Sewer Pipe

A. All PVC Sewer Pipe and Fittings used in this contract shall be made of plastic, meeting the requirements of: ASTM D3034. All PVC sewer pipe and fittings shall be SDR- 26.

B. Fittings:

- 1. Fittings such as saddles, elbows, tees, and wyes shall be of material and construction corresponding to and have joint design compatible with adjacent pipe.
- 2. Provide approved adapters for transitions to other types of pipe.

C. Pipe Joints:

- 1. Rubber Gasket: Bell and spigot joint, sealed by a rubber gasket so assembly will remain watertight under conditions of service including movements resulting from expansion, contraction, settlement, and deformation of pipe. Gaskets shall conform to ASTM C361.

D. Pipe Markings: Mark at intervals of 5 feet or less with following.

- 1. Manufacturer's name or trademark.
- 2. Nominal pipe size.
- 3. PVC cell classification, for example 12454-B.
- 4. Legend, "Type PSM SDR-26 PVC Sewer Pipe".
- 5. ASTM D3034
- 6. Extrusion date, period of manufactured or lot number.

E. Fitting Markings

1. Manufacturer's name or trademark.
2. Nominal size.
3. Material designation "PVC".
4. PSM type.
5. ASTM D3034

F. Dimensions:

1. Dimensions of pipe shall be in accordance with Table 1, except wall thickness may be not less than 97% of specified minimum.
2. Average wall thickness shall meet minimum wall thickness requirements of Table 1.

TABLE 1 PVC SEWER PIPE DIMENSIONS			
Nominal Size (in.)	Outside Average (in.)	Diameter Tolerance on Average (in.)	Minimum Wall Thickness (in.) SDR-26
6	6.275	± 0.011	0.241
8	8.400	± 0.012	0.323
10	10.500	± 0.015	0.404
12	12.500	± 0.018	0.481
15	15.300	± 0.023	0.588
*18 or greater, submit for approval			

2. Source Quality Control

A. Testing:

1. Tests conducted by approved testing agency shall be performed to determine the following.
 - a. Pipe dimensions:
 - 1) Average outside diameter.
 - 2) Average inside diameter.
 - 3) Minimum and average wall thickness.
 - b. Pipe stiffness at 5% deflection.
 - c. Pipe flattening for PVC sewer pipe: Deflect pipe to 60% deflection. Remove load and examine specimen for evidence of splitting, cracking or breaking.

2. Conduct tests on random sampling basis covering representative extrusion dates making up Project of each individual pipe size.
3. Engineer may waive testing on small projects with not more than 400 ft. of individual pipe size and individual extrusion dates of less than 10 pipe, totaling no more than 400 ft. pipe acceptance subject to visual inspection by utility inspector for defects.
4. Tests reports shall show results of these tests and conformance to ASTM requirements.

D 202.03 EXECUTION

1. Installation

- A. Trench, backfill, and compact in accordance with Section 102, "Excavation and Backfilling for Utilities".
- B. Rubber Gasket Joint:
 1. Immediately before making joint, lubricate outside of gasket and inside of bell of groove of last pipe with approved vegetable lubricant.
 2. Take care gasket and ends of pipe are clean and free of sand and gravel.
 3. Introduce spigot or tongue of pipe being laid, with gasket in place, into bell or groove end of previously laid pipe.
 4. Carefully set pipe to line and grade, and jack or push completely home.
 5. Use jack or "come-along" to ensure joints are tight.

2. Field Quality Control

- A. Pipe shall be subject to rejection for failure to conform to requirements of Specifications or following:
 1. Fractures or cracks passing through pipe wall or socket, except single crack not exceeding 2 in. in length at either end of pipe or single fracture in socket not exceeding 3 in. in width nor 2 in. in length shall not be considered cause for rejection unless these defects exist in more than 5% of entire shipment or delivery.
 2. Chips or fractures on interior of pipe exceeding 2" in length, 1" in width, and depth more than 1/4 barrel thickness.
 3. Cracks sufficient to impair strength, durability, or serviceability of the pipe.
 4. Defects indicating improper proportioning, mixing, and molding.
 5. Variations of more than 1/8 in./lin.ft. in alignment of pipe intended to be straight.
 6. Damage ends, where such damage prevents making satisfactory joint.
 7. Complete discoloration of any side of pipe.
- B. Specially fabricated fittings, stubs, or pipe sections, shall be submitted for approval by Engineer prior to manufacture.

3. Measurement

PVC sewer pipe will be measured for payment in linear feet along the horizontal centerline of the pipe no deduction will be made for manholes or fittings.

4. Payment

Plastic sewer pipe will be paid for at the unit price per linear foot, complete in place, as provided in the proposal and contract. The contract price per linear foot shall be the total compensation for furnishing of all labor, materials, tools, equipment, and incidentals necessary to complete the work, including excavation, granular embedment material, backfill, and disposal of surplus materials, in accordance with plans and specifications.

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTORY ORDINANCE Authorizing the city manager to accept \$2,750.00 in various donations and amending the City of Laredo Fiscal Year 2004 General Fund Annual Budget by 1) appropriating revenues in the amount of \$2,250.00 in the form of equal amount donations of \$750.00 each from: South Texas National Bank, International Bank of Commerce and Escamilla and Poneck, Inc. and appropriating expenditures in the amount of \$2,250.00 for the attendance at Austin Expo, 2004 in Austin, Texas; 2) appropriating revenues of \$500.00 in the form of a donation from HEB Food Stores and appropriating expenditures in the amount of \$500.00 for the purchase of recreational equipment for the Mario Tijerina Park dedication ceremony.																														
INITIATED BY: Larry Dovalina, City Manager Cynthia Collazo, Assistant City Manager		STAFF SOURCE: Horacio De Leon, Parks & Recreation Director																													
PREVIOUS COUNCIL ACTION: None																															
BACKGROUND: <p>The City of Laredo has, for the last three (3) years, attended the Parks and Wildlife Exposition and Fair in Austin, Texas in September and since inception, the numbers have grown to approximately 80 youth. The Parks and Recreation Department has plans to attend again this coming year and will use the donated monies to off-set expenses related to this trip.</p> <p>Mario Tijerina Park is scheduled for completion this coming Spring 2004. HEB has contributed \$500 for the purchase of recreational equipment which will be awarded to the children of this community during the park's dedication ceremony.</p>																															
FINANCIAL: Amending the City of Laredo Fiscal Year 2004 budget as follows <table style="width: 100%; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;"></th> <th style="width: 15%; text-align: center;">Annual Budget FY 2003</th> <th style="width: 15%; text-align: center;">Proposed Amendment</th> <th style="width: 20%; text-align: center;">Amended Budget 2003</th> </tr> </thead> <tbody> <tr> <td colspan="4">General Fund:</td> </tr> <tr> <td colspan="4">Revenues:</td> </tr> <tr> <td>Donations (101-0000-372-1000)</td> <td style="text-align: right;">\$10,000.00</td> <td style="text-align: right;">\$2,750.00</td> <td style="text-align: right;">\$12,750.00</td> </tr> <tr> <td colspan="4">Expenditures:</td> </tr> <tr> <td>Youth Commission (101-3010-543-5454)</td> <td style="text-align: right;">\$20,000.00</td> <td style="text-align: right;">\$2,250.00</td> <td style="text-align: right;">\$22,250.00</td> </tr> <tr> <td>Rec. Mats & Supplies (101-3120-552-0400)</td> <td style="text-align: right;">\$6,000.00</td> <td style="text-align: right;">\$500.00</td> <td style="text-align: right;">\$6,500.00</td> </tr> </tbody> </table>					Annual Budget FY 2003	Proposed Amendment	Amended Budget 2003	General Fund:				Revenues:				Donations (101-0000-372-1000)	\$10,000.00	\$2,750.00	\$12,750.00	Expenditures:				Youth Commission (101-3010-543-5454)	\$20,000.00	\$2,250.00	\$22,250.00	Rec. Mats & Supplies (101-3120-552-0400)	\$6,000.00	\$500.00	\$6,500.00
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COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: Conduct Public Hearing and Introduce Ordinance																													

ORDINANCE

Authorizing the city manager to accept \$2,750.00 in various donations and amending the City of Laredo Fiscal Year 2004 General Fund Annual Budget by 1) appropriating revenues in the amount of \$2,250.00 in the form of equal amount donations of \$750.00 each from: South Texas National Bank, International Bank of Commerce and Escamilla and Poneck, Inc. and appropriating expenditures in the amount of \$2,250.00 for the attendance at Austin Expo, 2004 in Austin, Texas; 2) appropriating revenues of \$500.00 in the form of a donation from HEB Food Stores and appropriating expenditures in the amount of \$500.00 for the purchase of recreational equipment for the Mario Tijerina Park dedication ceremony.

WHEREAS, on September 22, 2003, City Council adopted the fiscal year 2004 annual budget: and

WHEREAS, on January, 15, 2004, City Council will hold a public hearing and introduce this ordinance; and

WHEREAS, in order to provide the funds necessary to participate in the Parks and Wildlife Expedition in Austin, Texas; and

WHEREAS, in order to provide necessary funds for the procurement of park equipment;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Amending the City of Laredo Fiscal Year 2004 General Fund by appropriating revenues as follows:

	Annual Budget FY 2003	Proposed Amendment	Amended Budget 2003
General Fund:			
Revenues:			
Donations (101-0000-372-1000)	\$10,000.00	\$2,750.00	\$12,750.00
Expenditures:			
Youth Commission (101-3010-543-5454)	\$20,000.00	\$2,250.00	\$22,250.00
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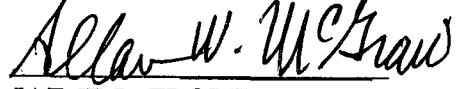
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS
THE _____ DAY OF _____, 2004.

ELIZABETH G. FLORES,
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.,
CITY SECRETARY

APPROVED AS TO FORM:



JAIME L. FLORES
CITY ATTORNEY

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTORY ORDINANCE Authorizing the City Manager to enter into an agreement with the Texas Parks and Wildlife Department to accept a grant in the amount of \$489,793 and amending the City of Laredo Fiscal Year 2004 Capital Improvements Projects Fund annual budget by appropriating revenues and expenditures in the amount of \$979,586 for the construction and redevelopment of Zacate Creek Linear Park with 50% funding from the Texas Parks and Wildlife Outdoor Recreation Grant Program and 50% local matching funds from Community Development Block Grants (\$81,679) and a Tex-Mex land donation (\$408,114).																																		
INITIATED BY: Larry Dovalina City Manager		STAFF SOURCE: Horacio De Leon Parks & Recreation Director																																	
PREVIOUS COUNCIL ACTION: City Council authorized the grant application to Texas Park and Wildlife on January 27, 2003.																																			
BACKGROUND: The City of Laredo was recently awarded a grant from the Texas Parks and Wildlife Outdoor Recreation Grant Program grant program in the amount of \$489,793 for the development of the Zacate Creek Linear Park Phase III, IV, and V. This award reflects 50% of the project funding. Community Development Block Grants will provide the additional local funding needed for the project completion. The appraised value of a 12 acre tract of land donated by the Texas-Mexican Railroad will also be considered as part of the local match. Pending acceptance by city council on January 12, 2004.																																			
FINANCIAL: The Capital Improvements Project Fund will be amended as follows: <table style="width: 100%; margin-top: 10px;"> <thead> <tr> <th style="width: 45%;"></th> <th style="width: 15%; text-align: center;">Annual Budget FY 2004</th> <th style="width: 15%; text-align: center;">Proposed Amendment</th> <th style="width: 25%; text-align: center;">Amended Budget 2004</th> </tr> </thead> <tbody> <tr> <td colspan="4">Capital Improvements Project Fund:</td> </tr> <tr> <td colspan="4">Revenues:</td> </tr> <tr> <td>Texas Parks and Wildlife (Acct. No.) 402-000-324-2103</td> <td style="text-align: center;">\$0</td> <td style="text-align: center;">\$489,793</td> <td style="text-align: center;">\$489,793</td> </tr> <tr> <td>Contribution - CDBG (Acct. No.) 402-0000-372-1000</td> <td style="text-align: center;">\$0</td> <td style="text-align: center;">\$81,679</td> <td style="text-align: center;">\$81,679</td> </tr> <tr> <td>Tex-Mex Property Value* (Acct. No.) 402-0000-372-1028</td> <td style="text-align: center;">\$0</td> <td style="text-align: center;">\$408,114</td> <td style="text-align: center;">\$408,114</td> </tr> <tr> <td colspan="4">Expenditures:</td> </tr> <tr> <td>Zacate Creek Linear Park (Acct. No.) 402-4322-535-4190</td> <td style="text-align: center;">\$0</td> <td style="text-align: center;">\$979,586</td> <td style="text-align: center;">\$979,586</td> </tr> </tbody> </table> <p style="margin-top: 10px;">* Pending Texas Parks and Wildlife Appraisal approval</p>					Annual Budget FY 2004	Proposed Amendment	Amended Budget 2004	Capital Improvements Project Fund:				Revenues:				Texas Parks and Wildlife (Acct. No.) 402-000-324-2103	\$0	\$489,793	\$489,793	Contribution - CDBG (Acct. No.) 402-0000-372-1000	\$0	\$81,679	\$81,679	Tex-Mex Property Value* (Acct. No.) 402-0000-372-1028	\$0	\$408,114	\$408,114	Expenditures:				Zacate Creek Linear Park (Acct. No.) 402-4322-535-4190	\$0	\$979,586	\$979,586
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Tex-Mex Property Value* (Acct. No.) 402-0000-372-1028	\$0	\$408,114	\$408,114																																
Expenditures:																																			
Zacate Creek Linear Park (Acct. No.) 402-4322-535-4190	\$0	\$979,586	\$979,586																																
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: Approval																																	

ORDINANCE

Authorizing the City Manager to enter into an agreement with the Texas Parks and Wildlife Department to accept a grant in the amount of \$489,793 and amending the City of Laredo Fiscal Year 2004 Capital Improvements Projects Fund annual budget by appropriating revenues and expenditures in the amount of \$979,586 for the construction and redevelopment of Zacate Creek Linear Park with 50% funding from the Texas Parks and Wildlife Outdoor Recreation Grant Program and 50% local matching funds from Community Development Block Grants (\$81,679) and a Tex-Mex land donation (\$408,114).

WHEREAS, on September 22, 2003, City Council adopted the fiscal year 2004 annual budget: and

WHEREAS, on January 12, 2004 City Council will hold a public hearing and introduce this ordinance; and

WHEREAS, the Texas Parks and Wildlife has awarded the City of Laredo a grant in the amount of \$489,763 with 50% matching funds coming from Community Development Block Grants for construction and development of the Zacate Creek Linear Park.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Capital Improvements Project Fund is hereby amended as follows:

	Annual Budget FY 2004	Proposed Amendment	Amended Budget 2004
Capital Improvements Project Fund:			
Revenues:			
Texas Parks and Wildlife Acct. No. 402-0000-324-2103	\$0	\$489,763	\$489,763
Contribution- CDBG Acct. No. 402-0000-372-1000	\$0	\$81,679	\$81,679
Tex-Mex Property Value Acct. No. 402-0000-372-1028	\$0	\$408,114	\$408,114
Expenditures:			
Zacate Creek Linear Park Acct. No. 402-4322-535-4190	\$0	\$979,586	\$979,586

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

BY: _____
ALLAN W. McGRAW
ASSISTANT CITY ATTORNEY

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTORY ORDINANCE Authorizing the City Manager to accept a contribution in the amount of \$12,500 from the Prairie Foundation and amending the City of Laredo Fiscal Year 2004 General Fund Annual Budget by appropriating revenues of \$12,500 in the form of a contribution from the Prairie Foundation and appropriating expenditures in the amount of \$12,500 for the 2004 Summer Playground Program registration fees.																								
INITIATED BY: Larry Dovalina, City Manager Cynthia Collazo, Assistant City Manager	STAFF SOURCE: Horacio De Leon, Parks & Recreation Director																								
PREVIOUS COUNCIL ACTION: None																									
BACKGROUND: <p>The Parks and Recreation Department through the advice of council has initiated a study of registration fees for participation in the Summer Playground Program. A fee structure will be developed and presented to council for review and approval.</p> <p>The Prairie Foundation has recently provided the City of Laredo Parks and Recreation Department a contribution for \$12,500 to offer approximately 600 eligible children financial aid for registration to participate in the upcoming 2004 Summer Playground Program.</p>																									
FINANCIAL: The City of Laredo 2004 Fiscal Year Budget will be amended as follows: <table style="width: 100%; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;"></th> <th style="width: 15%; text-align: center;">Annual Budget FY 2004</th> <th style="width: 15%; text-align: center;">Proposed Amendment</th> <th style="width: 20%; text-align: center;">Amended Budget 2004</th> </tr> </thead> <tbody> <tr> <td colspan="4">City of Laredo 2004 Fiscal Year Budget:</td> </tr> <tr> <td colspan="4">Revenues:</td> </tr> <tr> <td>Contribution 101-0000-372-1000</td> <td style="text-align: right;">\$10,000</td> <td style="text-align: right;">\$12,500</td> <td style="text-align: right;">\$22,500</td> </tr> <tr> <td colspan="4">Expenditures:</td> </tr> <tr> <td>Registration fees 101-3125-553-5502</td> <td style="text-align: right;">\$0</td> <td style="text-align: right;">\$12,500</td> <td style="text-align: right;">\$12,500</td> </tr> </tbody> </table>			Annual Budget FY 2004	Proposed Amendment	Amended Budget 2004	City of Laredo 2004 Fiscal Year Budget:				Revenues:				Contribution 101-0000-372-1000	\$10,000	\$12,500	\$22,500	Expenditures:				Registration fees 101-3125-553-5502	\$0	\$12,500	\$12,500
	Annual Budget FY 2004	Proposed Amendment	Amended Budget 2004																						
City of Laredo 2004 Fiscal Year Budget:																									
Revenues:																									
Contribution 101-0000-372-1000	\$10,000	\$12,500	\$22,500																						
Expenditures:																									
Registration fees 101-3125-553-5502	\$0	\$12,500	\$12,500																						
COMMITTEE RECOMMENDATION: Recommends approval.	STAFF RECOMMENDATION: Recommends approval.																								

ORDINANCE

Authorizing the City Manager to accept a contribution in the amount of \$12,500 from the Prairie Foundation and amending the City of Laredo Fiscal Year 2004 General Fund Annual Budget by appropriating revenues of \$12,500 in the form of a contribution from the Prairie Foundation and appropriating expenditures in the amount of \$12,500 for the 2004 Summer Playground Program registration fees.

WHEREAS, on September 22, 2003, City Council adopted the fiscal year 2004 annual budget: and

WHEREAS, on January, 12, 2004, City Council will hold a public hearing and introduce this ordinance; and

WHEREAS, in order to provide the funds needed to provide financial assistance for participation in the Summer Playground Program, the proposed budget amendment is hereby proposed.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City of Laredo 2004 Fiscal Year Budget is hereby amended as follows:

	Annual Budget FY 2004	Proposed Amendment	Amended Budget 2004
City of Laredo 2004 Fiscal Year Budget:			
Revenues:			
Contribution 101-0000-372-1000	\$10,000	\$12,500	\$22,500
Expenditures:			
Registration fees 101-3125-553-5502	\$0	\$12,500	\$12,500

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

BY: _____
ALLAN W. McGRAW
ASSISTANT CITY ATTORNEY

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: PUBLIC HEARING AND INTRODUCTORY ORDINANCE Amending the City of Laredo FY 2003-2004 annual budget by increasing expenditures and revenues in the amount of \$65,750 from the Texas Department of Health and \$36,965 in Program Income for a six-month budget for the Immunization Action Program of the City of Laredo Health Department for the grant period beginning on January 1, 2004, through December 31, 2004; and amend the Full-Time Equivalent Positions by -.13.
INITIATED BY: Cynthia Collazo Asst. City Manager	STAFF SOURCE: Hector F. Gonzalez, M.D., M.P.H. Health Director
PREVIOUS COUNCIL ACTION: On July 7, 2003, Council approved Ordinance No. 2003-O- 146 for the Immunization Action Program of the City of Laredo Health Department extending the grant period from September 1, 2002, through August 31, 2003, to September 1, 2002, through December 31, 2003.	
BACKGROUND: The Texas Department of Health has contracted with the City of Laredo to provide public health services to residents of Laredo and Webb County through the City of Laredo Health Department. The <i>Immunization Action Plan Program</i> was developed to meet requirements of the Texas Department of Health. It details a community-based strategy for the prevention of future epidemics of measles or other vaccine-preventable diseases. The Immunization Action Plan incorporates traditional and non-traditional systematic approaches designed to eliminate barriers, expand immunization delivery, and establish a coordinated effort to appropriately immunize preschool-aged children. The City of Laredo Health Department will endeavor to achieve and maintain 90% immunization levels for preschool-age children and to eradicate vaccine-preventable diseases. The Health Department will also assess immunization levels in the clinical records of preschool children using the CDC Clinic Assessment Software Application (CASA). The City of Laredo Health Department must adhere to both the spirit and intent of the “Standards for Pediatric Immunization Practices,” as recommended by the National Vaccine Advisory Committee, approved by the U.S.P.H.S., and endorsed by the American Academy of Pediatrics. The Health Department plans to provide immunization services two or more evenings per week and on weekends as needed to insure barrier free access to immunization clinics. Residency requirements for vaccine recipients are not applicable to receive services. The Health Department cannot deny vaccine to a recipient because they do not reside within this jurisdiction or for the inability to pay the approved \$4.00 fee. This contract will provide funds for six months of the grant period. The remaining funds will be provided at a later date. CONTINUED ON NEXT PAGE	
FINANCIAL: The City of Laredo will receive \$65,750 for Immunization Action Program of the City of Laredo Health Department, and \$36,965 in program income for a six-month budget. The revenue account number for this grant is 226-0000-323-4056 and the expenditure account is 226-6015. The program income amount will be distributed to the following accounts: 226-0000-355-4050 = \$10,350; 226-0000-376-0101 = \$20,700, and 226-0000-376-0102 = \$5,915.	
RECOMMENDATION:	STAFF: Recommends that Council introduce ordinance.

BUDGET

CATERGORIES		APPROVED BUDGET
REVENUES		
TDH GRANT REVENUE	\$	65,750
PROGRAM INCOME		36,965
TOTAL REVENUES	\$	102,715
EXPENSES		
PERSONNEL	\$	49,575
FRINGE BENEFITS		13,406
TRAVEL		807
EQUIPMENT		0
SUPPLIES		1,962
CONTRACTUAL		0
OTHER		0
SUB-TOTAL PROJECT COSTS	\$	65,750
DIRECT SUPPORT		0
TOTAL STATE SUPPORT	\$	65,750
PROGRAM INCOME		36,965
TOTAL	\$	102,715

PERSONNEL

PERSONNEL	APPROVED	PROPOSED	PROPOSED
BUDGET 226-6015	FTEs	FTEs	CHANGE
Chief, PHS	0	0.12	0.12
RN, Nurse Supv.	0	1	1
Registered Nurse II	1	-1	0
Programmer Analyst	0.4	0	0.4
Microcomputer Spec.	0.25	-0.25	0
Pharmacy Technician	0.2	0	0.2
Immunization Technician	1	0	1
Clerk Typist	1	0	1
TOTAL	3.85	-0.13	3.72

PERSONNEL	APPROVED	PROPOSED	PROPOSED
BUDGET 226-2922	FTEs	FTEs	CHANGE
RN, Nurse Supv.	1	-1	0
Registered Nurse II	0	1	1
Licensed Vocational Nurse II	1	0	1
Pharmacy Technician	0.5	0	0.5
Clerk II	1	0	1
TOTAL	3.5	0	3.5

ORDINANCE

AMENDING THE CITY OF LAREDO FY 2003-2004 ANNUAL BUDGET BY INCREASING EXPENDITURES AND REVENUES IN THE AMOUNT OF \$65,750 FROM THE TEXAS DEPARTMENT OF HEALTH AND \$36,965 IN PROGRAM INCOME FOR A SIX-MONTH BUDGET FOR THE IMMUNIZATION ACTION PROGRAM OF THE CITY OF LAREDO HEALTH DEPARTMENT FOR THE GRANT PERIOD BEGINNING ON JANUARY 1, 2004, THROUGH DECEMBER 31, 2004, AND AMEND THE FY 2003-2004 FULL-TIME EQUIVALENT POSITIONS BY -.13.

WHEREAS, the Texas Department of Health is contracting with the City of Laredo to provide public health services to residents of Laredo and Webb County through the City of Laredo Health Department, and

WHEREAS, the *Immunization Action Plan Project* was developed to meet requirements of the Texas Department of Health. It details a community-based strategy for the prevention of future epidemics of measles or other vaccine-preventable diseases. The Immunization Action Plan incorporates traditional and non-traditional systematic approaches designed to eliminate barriers, expand immunization delivery, and establish a coordinated effort to appropriately immunize preschool-aged children. The City of Laredo Health Department will endeavor to achieve and maintain 90% immunization levels for preschool-age children and to eradicate vaccine-preventable diseases. The Health Department will also assess immunization levels in the clinical records of preschool children using the CDC Clinic Assessment Software Application (CASA), and

WHEREAS, the City of Laredo Health Department must adhere to both the spirit and intent of the "Standards for Pediatric Immunization Practices," as recommended by the National Vaccine Advisory Committee, approved by the U.S.P.H.S., and endorsed by the American Academy of Pediatrics. The Health Department plans to provide immunization services two or more evenings per week and on weekends as needed to insure barrier free access to immunization clinics. Residency requirements for vaccine recipients are not applicable to receive services. The Health Department cannot deny vaccine to a recipient because they do not reside within this jurisdiction nor for the inability to pay the approved \$4.00 fee, and

WHEREAS, the City of Laredo Full-time equivalent positions for FY 2003-2004 are hereby amended to reflect the following: an additional .12 of Chief of Preventive Health Services; delete a Registered Nurse II (to be transferred to budget 226-2922) and add an RN, Nurse Supervisor (to be transferred from 226-2922); and delete .25 MicroComputer Specialist.

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF
THE CITY OF LAREDO THAT:**

- Section 1:** The City Manager is hereby authorized to execute the contract and accept the grants and their provisions as set forth by the Texas Department of Health.
- Section 2:** The City of Laredo accepts funds in the amount of \$65,750 for a six-month budget for the Immunization Action Program of the City of Laredo Health Department.
- Section 3:** Revenue line item 226-0000-323-4056 funded by the Texas Department of Health is increased from \$0 to \$ 65,750.
- Section 4:** Expenditure line item 226-6015 is increased from \$0 to \$ 65,750.
- Section 5:** Program Income account 226-0000-355-4050 is increased to \$10,350, 226-0000-376-0101 to \$20,700, and 226-0000-376-0102 to \$5,915.
- Section 6:** Full-time equivalent position changes include: an additional .12 of Chief of Preventive Health Services; delete a Registered Nurse II (to be transferred to budget 226-2922) and add an RN, Nurse Supervisor (to be transferred from 226-2922); and delete a .25 MicroComputer Specialist.
- Section 7:** The City Manager is hereby authorized to make transfers within the budget as allowable under the General Provisions as set forth by the Texas Department of Health to meet the necessary costs to accomplish the scope of work for the project.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR

ON THIS _____ DAY OF _____, 2004.

**ELIZABETH G. FLORES
MAYOR**

ATTEST:

**GUSTAVO GUEVARA, JR.
CITY SECRETARY**

APPROVED AS TO FORM:

**JAIME FLORES
CITY ATTORNEY**

COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: PUBLIC HEARING amending the 2003 Consolidated One-Year Action Plan to reprogram a total of \$75,000 of the 29 th Action Year (AY) 2003 Community Development Block Grant (CDBG) funds by reducing the amount of funding for the South Laredo Cross Street Park project, from \$300,000.00 to \$225,000.00, and creating a new activity known as the South Laredo (Mario Tijerina) Park Lighting Project totaling \$75,000.00.	
INITIATED BY: Cynthia Collazo Assistant City Manager		STAFF SOURCE: Erasmo A. Villarreal Community Development Director
PREVIOUS COUNCIL ACTION: On July 21, 2003, City Council approved the submission of the 2003 Consolidated One-Year Action Plan to the U. S. Department of Housing and Urban Development in request for funding of the 29 th Action Year Community Development Block Grant funds.		
BACKGROUND: As per the request of the Council Member for District I, staff proposes to decrease the funding for the South Laredo Cross Street Park, from \$300,000.00 to \$225,000.00, and to utilize the difference of \$75,000.00 for the purchase and installation of sports lighting at the South Laredo (Mario Tijerina) Park. The increase in funding for lighting will allow the Mario Tijerina Park to be used as a Little League regulation playing field. A substantial amendment regarding the use of CDBG funds requires that citizens be informed of the proposed changes and be provided an opportunity to comment. In adherence with the Citizens Participation Plan, citizens will be given 30 days, beginning January 5, 2004 through February 4, 2004 to provide oral and/or written comments. Comments must be forwarded to Mr. Erasmo A. Villarreal, Community Development Director at the Department of Community Development, 1301 Farragut, Transit Center Building, 3 rd Floor, East Wing, Laredo, Texas 78042.		
FINANCIAL IMPACT: A fund total in the amount of \$75,000.00 from the 29 th Action Year CDBG funds.		
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: That this public hearing be held.

GENERAL COUNCIL DISCUSSIONS AND PRESENTATIONS

- A. **Request by Council Member Hector J. Garcia**
 - 1. Discussion with possible action on placing more street lights on Clark between Arkansas to Bob Bullock Loop.
- B. **Request by Mayor Pro-Tempore John Galo**
 - 1. Discussion with possible action on establishing a program to allow interns to assist the Mayor and City Council.
 - 2. Discussion with possible action regarding trash bags and other trash within the city limits.
- B. **Request by Council Member Gene Belmares**
 - 1. Discussion with possible action on creating a speed watch program.
- C. **Request by Council Member Jose A. Valdez, Jr.**
 - 1. Discussion with possible action regarding the parking situation at 1400 Pierce and surrounding areas.
 - 2. Recognition of the AARP for being the most active local chapter in the state.
 - 3. Discussion with possible action on the relocation of a power pole located at 1004 Lafayette.
 - 4. Status report on the CP&L Road, with possible action.
- D. **Request by Council Member Juan Ramirez**
 - 1. Discussion with possible action on modifications to Bridge II due to the current high alert.
 - 2. Discussion with possible action regarding driving safety precautions by law enforcement within the city limits.

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COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: INTRODUCTION OF AN ORDINANCE Authorizing the City Manager to execute a lease agreement with Webb County for approximately 2,378 square feet constituting Building No. 1228 located at 4704 Naranjo Street at the Laredo International Airport. Lease term is for fifteen (15) months commencing on May 1, 2003 and ending on July 31, 2004. Monthly rent shall be \$1,500.00; providing for an effective date.	
INITIATED BY: Cynthia Collazo Assistant City Manager		STAFF SOURCE: Jose L. Flores Airport Director
PREVIOUS COUNCIL ACTION: City Council has approved previous lease agreements with Webb County.		
BACKGROUND: Webb County wishes to continue leasing Building No. 1228. Webb County has continuously used these premises since 1984 for kitchen facilities and day care services. They have been providing day care/headstart services from this location since then. This tenant is in good standing with the Laredo International Airport. Building No. 1228 was originally constructed in 1943 and it's primary use was as a child care center by the military. This building has been identified for demolition in the Airport's Demolition Schedule.		
FINANCIAL IMPACT: Building Rent Revenues Account No. 242-0000-361-1060 Previous Monthly Rent: \$1,100.00 Proposed Monthly Rent: \$1,500 x 12 Mos. = \$18,000 Per Year Percentage Increase: 36.364%		
COMMITTEE RECOMMENDATION: The Airport Advisory Committee recommends approval.		STAFF RECOMMENDATION: That the City Manager be authorized to execute a lease agreement with Webb County for Building No. 1228.

AN ORDINANCE

AUTHORIZING THE CITY MANAGER TO EXECUTE A LEASE WITH WEBB COUNTY FOR APPROXIMATELY 2,378 SQUARE FEET CONSTITUTING BUILDING NO. 1228 LOCATED AT 4704 NARANJO STREET AT THE LAREDO INTERNATIONAL AIRPORT;

1. LEASE TERM IS FOR FIFTEEN (15) MONTHS COMMENCING ON MAY 1, 2003 AND ENDING ON JULY 31, 2004;

2. MONTHLY RENT SHALL BE \$1,500.00; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Airport Director recommends that the City Council approve the proposed lease between the City of Laredo, as LESSOR, and Webb County, as LESSEE, for approximately 2,378 square feet constituting Building No. 1228 located at 4704 Naranjo Street at the Laredo International Airport, as a contract and in furtherance of the development of the Laredo International Airport and as a support to the maintenance and operation of the Laredo International Airport;

WHEREAS, the Airport Advisory Committee finds that said lease is in the best interest of the Airport and recommends that the City Council approve the proposed lease; and

WHEREAS, the City Council of the City of Laredo having heard the recommendations of the Airport Director and of the Airport Advisory Committee agrees with same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City Manager be hereby authorized to execute a lease with Webb County for approximately 2,378 square feet constituting Building No. 1228 located at 4704 Naranjo Street at the Laredo International Airport, a copy of which lease is attached hereto as Exhibit A, and incorporated herein as if set out at length for all intents and purposes.

Section 2: This Ordinance shall become effective upon passage hereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE ____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

AN ORDINANCE AUTHORIZING A LEASE AGREEMENT BETWEEN THE CITY OF LAREDO AND WEBB COUNTY
(BUILDING NO. 1228)

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

BY: Valeria M. Acevedo
VALERIA M. ACEVEDO
ASSISTANT CITY ATTORNEY

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COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: INTRODUCTORY ORDINANCE SETTING THE MAXIMUM SPEED LIMITS ON THAT PORTION OF JACAMAN ROAD BETWEEN SUMMERWIND BOULEVARD AND SINATRA PARKWAY, WITHIN THE CITY LIMITS OF LAREDO, WEBB COUNTY, TEXAS, AS 40 MPH, AS DEFINED IN THE CONTROL SECTION MAP PROVIDED BY THE CITY OF LAREDO, TRAFFIC SAFETY DEPARTMENT.
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Roberto Murillo, P.E., Traffic Director
PREVIOUS COUNCIL ACTION: None.	
BACKGROUND: Graduated speed zone studies by the City of Laredo, Traffic Safety Department have been performed on Jacaman Road between Summerwind Boulevard and Sinatra Parkway. The study indicates that the new speed that shall govern for the Jacaman Road section of roadway shall be as follows: 40 MPH from Summerwind Boulevard to Sinatra Parkway; A map defining the above speed zone has been prepared by the Laredo Traffic Safety Department. This map is being submitted to the City Council for approval by ordinance for these speed limits. The City of Laredo Traffic Safety Department will be responsible for the installation and/or removal of all traffic signs.	
FINANCIAL IMPACT: None.	
COMMITTEE RECOMMENDATION:	STAFF RECOMMENDATION: Staff recommends introduction of this ordinance.

INTRODUCTORY ORDINANCE

SETTING THE MAXIMUM SPEED LIMITS ON THAT PORTION OF JACAMAN ROAD BETWEEN SUMMERWIND BOULEVARD AND SINATRA PARKWAY, WITHIN THE CITY LIMITS OF LAREDO, WEBB COUNTY, TEXAS, AS 40 MPH, AS DEFINED IN THE CONTROL SECTION MAP PROVIDED BY THE CITY OF LAREDO, TRAFFIC SAFETY DEPARTMENT.

WHEREAS, state law requires that an engineering and traffic investigation serve as the basis for a city to alter a speed limit; and

WHEREAS, the City of Laredo, Traffic Safety Department has undertaken a thorough traffic investigation of that portion of Jacaman Road, lying within the city limits of Laredo, Webb county, Texas, utilizing Texas State Department of Highways and Public Transportation procedures; and

WHEREAS, a speed study and traffic accident examination of that portion of Jacaman Road has been completed by the City of Laredo, Traffic Safety Department; and

WHEREAS, the City of Laredo, Traffic Safety Department has recommended that the maximum speed limits on that portion of Jacaman Road lying within the city limits of Laredo, Webb County, Texas, be altered in accordance with said study; and

WHEREAS, the City's Traffic Engineer has reviewed and recommended the speed posting for Jacaman Road as was recommended by the City of Laredo, Traffic Safety Department; and

WHEREAS, the Traffic Safety Department, after proper analysis, has determined that better traffic flow will result on this section of Jacaman Road and the interest and safety of the citizens of Laredo will be improved by the speed zoning; and

WHEREAS, the City Council of the City of Laredo is of the same opinion.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

AN ORDINANCE DESIGNATING THE SPEED ZONE FOR THAT SECTION OF JACAMAN ROAD BETWEEN SUMMERWIND BOULEVARD AND SINATRA PARKWAY

SECTION 1: That any other prior enacted ordinances regulating same be repealed and superceded.

SECTION 2: That the maximum speed limits on the portions of Jacaman Road lying within the City limits of Laredo shall be altered and posted as follows;

40 MPH from Summerwind Boulevard to Sinatra Parkway;

; and

SECTION 3: This ordinance shall be published one time in an official newspaper in the City of Laredo; and

SECTION 4: That this Ordinance shall take effect at expiration of thirty (30) days after adoption, provided there has been publication as provided in Section 2.09 (D) of the Laredo city charter, and shall supersede any prior ordinances for the sections described.

APPROVED BY THE MAYOR ON THIS _____ DAY _____, 2004.

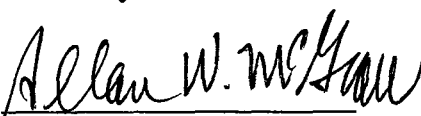
Elizabeth G. Flores
Mayor

Attest:

Gustavo Guevara, Jr.
City Secretary

APPROVED AS TO FORM:

Jaime L. Flores
City Attorney

By: 
Allan W. McGraw
Assistant City Attorney

CITY COUNCIL SITTING AS THE MASS TRANSIT BOARD

Date: 01-12-04	SUBJECT: INTRODUCTION OF AN ORDINANCE Authorizing the City Manager to enter into a lease agreement by and between the Laredo Transit Management, Inc., and the City of Laredo Department of Community Development for the lease of 6,628 sq.ft. of building space at the Laredo Transit Center located at 1301 Farragut (East), second and third floors (East) for a monthly sum of \$4,218.97 for a term of three (3) years commencing on February 1, 2004.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Thomas N. Lucek, General Manager
PREVIOUS BOARD ACTION: The contract was last approved with Ordinance No. 2002-O-242 on September 16, 2002 for a two-year period commencing on February 1, 2002 and to end on February 1, 2004.		
BACKGROUND: The lease agreement by and between the Laredo Transit Management, Inc., and the City of Laredo Department of Community Development will be for the term of three (3) years commencing on February 1, 2004.		
FINANCIAL: <ul style="list-style-type: none">• Monthly rent shall be \$4,218.97 based on 6,628 square feet at \$.63653 per square foot.• The utilities will be prorated. Community Development will pay 20% of the electrical bill and 20% of the water utility bill.• Rental fee for parking of employee vehicles will be paid monthly at the rate set by City Ordinance (current rate of \$25.00/mo. per vehicle), The Lessor will provide up to Forty (40) designated parking spaces for use by the Lessee.• Lessee shall pay 50% of the telephone system equipment maintenance agreement up to \$1,580.92 per year.• Lessee shall pay a monthly rental and service fee of \$85.00 per month for a trash compactor, when installed.• Rental Revenues will be deposited into account no. 518-0000-361-1012/Transit Center Rent.		
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: Staff recommends passage of this introduction of ordinance.

AN ORDINANCE NO:

Authorizing the City Manager to enter into a lease agreement by and between the Laredo Transit Management, Inc., and the City of Laredo Department of Community Development for the lease of 6,628 sq.ft. of building space at the Laredo Transit Center located at 1301 Farragut (East), second and third floors (East) for a monthly sum of \$4,218.97 for a term of three (3) years commencing on February 1, 2004.

WHEREAS, the City of Laredo Department of Community Development, hereinafter called "Lessee" convenants and agrees to pay Laredo Transit Management, Inc., hereinafter called "Lessor" as rent for the said premises in the sum of (\$.63653) per square foot monthly; and

WHEREAS, the utilities will be prorated between Lessee and Lessor in which the Lessee will pay 20% of the electrical bill and 20% of the water utility bill; and

WHEREAS, the rental fee for parking of employee vehicles will be paid monthly at the rate set by City Ordinance employees by City Council which is \$25.00 per month per vehicle, or as set by City Council, and will be addressed by a separate agreement; and

WHEREAS, The Lessee shall pay 50% of the telephone system equipment maintenance agreement up to \$1,580.92; and

WHEREAS, The Lessee shall pay a monthly rental and service fee for a trash compactor, in the amount of \$85.00 per month.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS: THAT

Section 1. That it hereby authorizes the City Manager to execute a lease agreement, containing the principal provisions enumerated below, by and between the Laredo Transit Management, Inc., as "Lessor" and the City of Laredo Department of Community Development, as "Lessee" for lease building space containing 6,628 square feet at the Laredo Intermodal Transit Center located at 1301 Farragut (East). The contract term is for three (3) years commencing on February 1, 2004.

1. Monthly rent shall be based on 6,628 square feet at \$.63653 per square foot.
2. The utilities will be prorated. Community Development will pay 20% of the electrical bill and 20% of the water utility bill.
3. Rental for parking of employee vehicles will be paid monthly at the rate set by City Council Ordinance, and will be addressed by separate agreement.
4. Lessee shall pay 50% of the telephone system equipment maintenance agreement up to \$1,580.92.
5. Monthly rent and service fee of \$85.00 per month for a trash compactor.

Section 2. This ordinance shall become effective upon the passage hereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____ 200_____.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARRA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES

BY:



ANTHONY McGETTRICK
ASSISTANT CITY ATTORNEY

LEASE AGREEMENT

THIS AGREEMENT is effective February 1, 2004 and made between the Laredo Transit Management, Inc., hereinafter called "Lessor", and the City of Laredo Department of Community Development, hereafter called "Lessee", witnesseth:

That Lessor, for and in consideration of the rent hereinafter specified to be paid by Lessee, and the covenants and agreements hereinafter contained, by the Lessee to the kept and performed, has leased the 6,628 sq. ft of building space located on 1301 Farragut in the City of Laredo, County of Webb, State of Texas.

To have and to hold unto said Lessee on the following terms and conditions:

1. TERM: The term of this lease shall be for THREE YEARS beginning February 1, 2004; and thereafter from month to month until such time as Lessor terminates the Lease by giving the Lessee (90) ninety days written notice of termination to the then Director of the Lessee organization or to one of its members.

2. RENTAL: Lessee covenants and agrees to pay to Lessor as rent for the said premises the sum of \$.63653 per square foot monthly, for a total sum of \$4,218.97 Dollars monthly. Rental fee for parking of employee vehicles will be paid monthly at the rate set by City Ordinance (current rate of \$25.00/month per vehicle). The Lessor will provide up to Forty (40) designated parking spaces for use by the Lessee. The Lessor will determine the amount of parking for client use to be used on each floor. The utilities will be prorated between Lessee and Lessor. Lessee will pay 20% of the Electrical Bill and 20% of the Water Utility Bill. The Lessee shall pay 50% of the telephone system equipment maintenance agreement up to \$1,580.92. The Lessee also agrees to pay the monthly rental and service fee of \$85.00 per month for trash compactor.

3. PURPOSE: Said premises shall be used by the Lessee to provide services to the community for housing, code enforcement, and any other related service necessary to carry out the goals and objectives of the Lessee and for no other purpose whatsoever without the written consent of Lessor.

4. IMPROVEMENTS: lessee may, at Lessee's sole cost and expense, make such changes, alterations or improvements (including the construction of buildings) as may be necessary to fit existing premises, provided however, that no change, alteration or improvement may be so made without the prior approval of the City Manger, and all buildings, fixtures and improvements of every kind and nature whatever installed by the Lessee shall remain the property of Lessee, who may remove the same upon termination of the lease, provided that such removal shall be done in such a manner as not to injure or damage the demised premise; and that premises shall be restored to the condition in which they existed prior to such improvements, and provided further that should Lessee fail to remove said buildings, fixtures or improvements as above provided, Lessor at its option, may require Lessee to remove the same. In the event of receipt of notice from Lessor, Lessor may remove the same and dispose of the same as it sees fit, and Lessee agrees to sell, assign, transfer and set over to Lessor all of Lessee's right, title and interest in and to said building, fixtures, improvements and any personal property not removed by

Lessee, for the sum of One Dollar (\$1.00). Lessee further agrees that should Lessor remove said buildings, fixtures and improvements as above provided, that Lessee will pay Lessor upon demand the cost of such removal, plus the cost of transportation and disposal thereof.

5. **RESERVATIONS BY LESSOR:** The Lessor reserves the right to require and make modifications to the leased premises for the benefit of the public as Lessor determines and for such purpose the Lessor shall have right of ingress to and egress from the leased premises to make any such modification. The Lessor further reserves the right to maintain all current utility lines located in the leased premises. The Lessor further reserves the right to construct additional utility lines either by itself or by its licensees or franchisees in and through the leased premises, but such construction or installation of any additional utility lines must be preceded by fifteen (15) days written notice to Lessee. Any maintenance or construction work done by Lessor or its licensees or franchisees will be done with an effort to minimize any damage to or interference with any improvements hereinafter installed on the leased premises by the lessee; however, it is understood and agreed by Lessee, that in no event shall Lessor be responsible to Lessee for any damage to the leased premises or for any interference with its use by Lessee, arising out of any maintenance, construction or installation of utility lines on the leased premises whether by Lessor or its licensees or franchisees.

6. **RESERVATION BY LESSEE:** The Lessee reserves the right to terminate this Lease at any time after 30 days' written notice to the Lessor.

7. **REPAIRS-MAINTENANCE:** Lessee agrees to provide normal building maintenance for the leased space. Lessor agrees to provide maintenance for the parking lot area. Lessor will provide all major building repairs associated with utilities of leased items necessary for daily operations by Lessee.

8. **ASSIGNMENT AND MORTGAGE:** Neither the leased premises nor any portion thereof shall be sublet, nor shall this lease, or nay interest therein be assigned, hypothecated or mortgaged by Lessee, and any attempted assignment, subletting, hypothecation or mortgaging of this Lease shall be of no force or effect and shall confer no rights upon any assignee, sub-lessee, mortgage or pledge.

9. **LIABILITY:** Lessee shall save Lessor harmless from any loss, cost or damage that may arise out of or in connection with this lease or the use of leased premises by Lessee, or its agents, or employees, or any other person using said premises; and Lessee agrees to deliver to Lessor upon execution of this lease an executed copy of a continuing public liability and property insurance policy satisfactory to Lessor, indemnifying and holding Lessor harmless against any and all claims, in the amount as prescribed by the City of Laredo policies for such actions.

10. **TERMINATION BY LESSOR:** Lessor may terminate this lease at any time by serving upon Lessee, in the manner hereafter provided, a written notice of its election to so terminate, which said notice shall be served at least 90 days prior to the date in said notice named for such termination.

11. **DEFAULT:** In the event that Lessee shall be in default of any payment of rent or in the performance of any of the terms or conditions herein agreed to be kept and performed by Lessee, Lessor may terminate this lease, with a 60-day notice and may enter upon said premises and remove all persons and property therefrom; in the event Lessor shall bring a legal action to enforce any of the terms hereof, or obtain possession of said premises by reason of any default of Lessee, or otherwise, Lessee agrees to pay Lessor all costs of such legal action, including reasonable attorney's fees.

12. **NOTICES:** Any notices which are required hereunder, or which either Lessor or Lessee may desire to serve upon the other, shall be in writing and shall be deemed served when delivered personally, or when deposited in the United States mail, postage prepaid, return receipt requested, addressed to lessee as follows: Mr. Erasmo A. Villarreal, CD Director, 1301 Farragut, P.O. Box 1276, Laredo, Texas 78042-1276, or addressed to Lessor as follows: Mr. Thomas N. Lucek, General Manager, Laredo Transit Management, Inc., 1301 Farragut, Laredo, Texas 78040.

13. **WAIVER:** Waiver by Lessor of any default in performance by Lessee of any of the terms, covenants or conditions contained herein, shall not be deemed a continuing waiver of the same of any subsequent default herein.

14. **COMPLIANCE WITH LAWS:** Lessee agrees to comply with all laws, ordinances, rules and regulations, which may pertain or apply to the leased premises and the use thereof.

15. **LESSOR MAY ENTER:** Lessee agrees that Lessor, its agents or employees, may enter upon said premises only with consent of the Lessee during the life of this lease for the purpose of inspection and for the purposes stated in Paragraph 5, above, with the understanding that said work will be performed in such a manner as to cause a minimum of interference with the use of the property of the Lessee.

The Contract is signed, in duplicate original, on this _____ day of _____, 2004.

LESSOR: LAREDO TRANSIT MANAGEMENT, INC.

By: _____
THOMAS N. LUCEK
General Manager

LESSEE: CITY OF LAREDO DEPARTMENT OF
COMMUNITY DEVELOPMENT

By: _____
LARRY DOVALINA
City Manager

APPROVED AS TO FORM:
Jaime L. Flores
City Attorney

By: _____
ANTHONY McGETTRIC
Assistant City Attorney

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: RESOLUTION NO. 2004-R-001 Accepting the assignment of 7.758 acre feet of municipal water rights from the balance of 244.6125 acre feet deeded to the City of Laredo by Vaquillas Ranch Company, Ltd. by applying 1 acre feet of municipal water rights for water availability charges, and 0.158 acre feet for meter connections fees for the final plat of San Isidro Monarch Unit I; and 6.6 acre feet of municipal water rights for water availability charges in connection with the final plat of Concord Hills Phases VI, VII, and VIII.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Heberto L. Ramirez, Utilities Director
PREVIOUS COUNCIL ACTION: On 7/21/03 by Resolution No. 2003-R-071, the City Council accepted the assignment of 62.153 acre feet of municipal water rights from the balance of 800 acre feet deeded to the City of Laredo by Vaquillas Ranch Company, Ltd. The balance of water rights was 244.6125 after that transaction.		
BACKGROUND: Ordinance No. 99-O-047 allows the exchange of water rights for various fees related to land development. 555.3875 acre feet have been previously assigned for other land development charges. The balance of water rights in this account will be 236.8545 acre feet after this transaction.		
FINANCIAL IMPACT: The deduction of 7.758 acre feet from 244.6125 leaves 236.8545 acre feet of municipal water rights.		
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: Staff recommends approval of this transaction.

RESOLUTION NO. 2004-R-001

Accepting the assignment of 7.758 acre feet of municipal water rights from the balance of 244.6125 acre feet deeded to the City of Laredo by Vaquillas Ranch Company, Ltd. by applying 1 acre feet of municipal water rights for water availability charges, and 0.158 acre feet for meter connections fees for the final plat of San Isidro Monarch Unit I; and 6.6 acre feet of municipal water rights for water availability charges in connection with the final plat of Concord Hills Phases VI, VII, and VIII.

WHEREAS, Ordinance No. 99-O-047 allows the exchange of water rights for various fees related to land development; and

WHEREAS, 1 acre feet of municipal water rights for water availability charges and 0.158 for meter connections fees were deeded to the City of Laredo by Vaquillas Ranch Co., Ltd. in connection with the final plat of San Isidro Monarch Unit I; and

WHEREAS, 6.6 acre feet of municipal water rights for water availability charges were deeded to the City of Laredo by Vaquillas Ranch Co., Ltd. in connection with the final plat of Concord Hills Phase VI, VII, and VIII; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

The assignment of 7.6 acre feet of water rights will be accepted in exchange for the payment of water availability charges, and 0.158 acre feet of water rights will be accepted in exchange of payment for meter connections fees for the final plat of San Isidro Monarch Unit I located at 2445 Monarch Dr., and Concord Hills Phase VI, VII, and VIII located east of Concord Hills Blvd. and south of HWY 359, upon the signing of this Resolution No.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF JANUARY 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
Jaime L. Flores
City Attorney

By: Valeria M. Acevedo
Valeria Acevedo
Assistant City Attorney

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COUNCIL COMMUNICATION

DATE 01-12-04	SUBJECT: RESOLUTION NO. 2004-R-02 ACCEPTING THE DONATION OF TWO UTILITY EASEMENTS FOR THE PUEBLO NUEVO SUBDIVISION EASEMENT ACQUISITION PROJECT, THESE BEING: (1) A 0.0388 ACRE PARCEL FROM MARIA DEL CARMEN SERNA WHICH IS OUT OF LOT 11, BLOCK 13 PUEBLO NUEVO SUBDIVISION, DESCRIBED BY METES AND BOUNDS AND SURVEY ATTACHED AS EXHIBITS A and B; AND (2) A 0.0302 ACRE PARCEL FROM MARIA DEL CARMEN SERNA WHICH IS OUT OF LOT 12, BLOCK 13 PUEBLO NUEVO SUBDIVISION, DESCRIBED BY METES AND BOUNDS AND SURVEY ATTACHED AS EXHIBITS C and D;
INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Angelo Ferrazzano Real Estate Manager
PREVIOUS COUNCIL ACTION: None.	
BACKGROUND: The City of Laredo is in the process of extending utility services lines through the Pueblo Nuevo Subdivision Right-of-Way and Easement project, among other colonias in conjunction with its Agreement with Webb County; and The extension of utility services lines to the Pueblo Nuevo Subdivision will expedite the delivery of water and sewer services to residents of that colonia In order to proceed with the extension of utility services lines to the Pueblo Nuevo Subdivision, it is in the best interest of the City of Laredo to accept the donation of two utility easements over the said parcels, as described in the exhibits.	
FINANCIAL IMPACT: Land. Acct. 557-0000-161-0000	
COMMITTEE RECOMMENDATION: N/A	STAFF RECOMMENDATION: Staff recommends approval of Resolution.

RESOLUTION NO. 2004-R-02

ACCEPTING THE DONATION OF TWO UTILITY EASEMENTS FOR THE PUEBLO NUEVO SUBDIVISION EASEMENT ACQUISITION PROJECT, THESE BEING:

- (1) A 0.0388 ACRE PARCEL FROM MARIA DEL CARMEN SERNA WHICH IS OUT OF LOT 11, BLOCK 13 PUEBLO NUEVO SUBDIVISION, AS DESCRIBED BY METES AND BOUNDS AND SURVEY ATTACHED AS EXHIBITS A and B; and**
- (2) A 0.0302 ACRE PARCEL FROM MARIA DEL CARMEN SERNA WHICH IS OUT OF LOT 12, BLOCK 13, PUEBLO NUEVO SUBDIVISION; AS DESCRIBED BY METES AND BOUNDS AND SURVEY ATTACHED AS EXHIBITS C and D.**

WHEREAS, the City of Laredo is in the process of extending utility services lines to various colonias, including the Pueblo Nuevo Subdivision Easement Project and

WHEREAS, the extension of utility services lines to the Pueblo Nuevo Subdivision, will expedite the delivery of utility services to residents of that area; and

WHEREAS, in order to proceed with the extension of utility services lines to the Pueblo Nuevo Subdivision, it is in the best interest of the City of Laredo to accept the donation of the two above-referenced parcels of land as utility easements, as described in attached Exhibits A & B, as to 0.0388 acre easement, and in attached Exhibits C and D as to the 0.0302 acre easement

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

A. It hereby accepts the donation of two utility easements for the Pueblo Nuevo Subdivision Easement Acquisition, these being:

- (1) A 0.0388 acre parcel from Maria Del Carmen Serna which is out of Lot 11, Block 13, Pueblo Nuevo Subdivision, and described by metes and bounds on Exhibit A and by survey on Exhibit B; and**
- (2) A 0.0302 acre parcel from Maria Del Carmen Serna which is out of Lot 11, Block 13, Pueblo Nuevo Subdivision, and described by metes and bounds on Exhibit C and by survey on Exhibit D; and**

B. This resolution shall become effective on passage thereof.

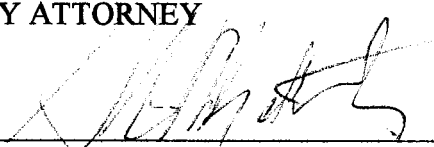
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON
THIS, THE _____ DAY OF JANUARY, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

By: 

Anthony C. McGettrick
Assistant City Attorney

TRACT 13-11-E1

**STATE OF TEXAS
COUNTY OF WEBB**

A TRACT OF LAND CONTAINING 0.0388 ACRES, more or less, situated in Webb County, Texas, said 0.0388 acre tract being out of Lot 11, Block 13, Pueblo Nuevo Subdivision recorded in Volume 5, Page 19, Map Records of Webb County, Texas, this 0.0388 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a ½" diameter iron rod set with cap marked "FEC" being the southwest corner of said Lot 11, Block 13 for the southwest corner of this 0.0388 acre tract;

THENCE due north, a distance of 15.00' to a ½" diameter iron rod set with cap marked "FEC" for the northwest corner hereof;

THENCE S89°49'00"E a distance of 112.75' to a ½" diameter iron rod set with cap marked "FEC" for the northeast corner hereof;

THENCE due south, a distance of 15.00' to a ½" diameter iron rod set with cap marked "FEC" for the southeast corner hereof;

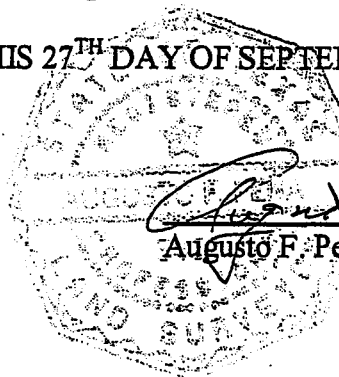
THENCE N89°49'00"W a distance 112.75' to the **PLACE OF BEGINNING** of this 0.0388 acre, more or less, tract of land.

Note: Basis of bearings taken from the west line of Pueblo Nuevo Subdivision as recorded in Volume 5, Page 19 of the Map Records of Webb County.

**STATE OF TEXAS
COUNTY OF WEBB**

I, Augusto F. Pena, a Registered Professional Land Surveyor, do hereby certify that the foregoing metes and bounds description is true and correct to my best knowledge and was prepared from an actual survey made on the ground, under my direction and from office records available, without the benefit of a complete title search.

WITNESS MY HAND AND SEAL THIS 27TH DAY OF SEPTEMBER, 2002.


Augusto F. Pena, R.P.L.S.# 3469
P.E.# 12455

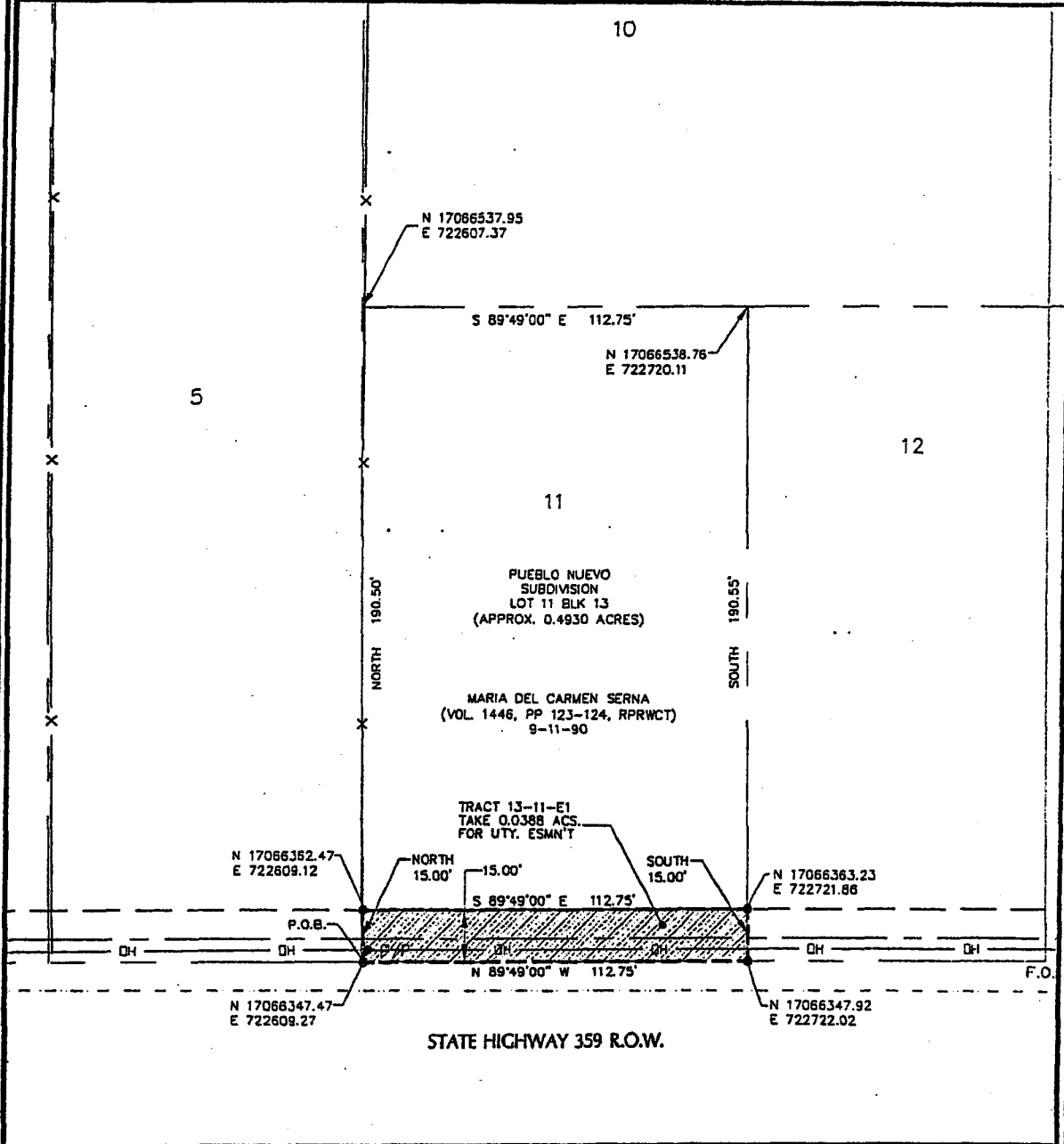
EXHIBIT

A

**SURVEY
OF
TRACT 13-11-E1
BEING A 0.0388 ACRE TRACT OF LAND
OUT OF
LOT 11 BLOCK 13, PUEBLO NUEVO SUBDIVISION
VOL 5, PG. 19, MAP RECORDS OF WEBB COUNTY, TEXAS**

FOSTER ENGINEERING CO.
1004 HILLSIDE ROAD
LAREDO, TEXAS 78041
(956) 723-3451
FILE: PN.B.9.02.DWG

SCALE: 1" = 40'



- LEGEND**
- EXIST. PLATTED PROPERTY LINES
 - EXIST. FENCES
 - EXIST. BURIED COMMUNICATION LINE
 - EXIST. OVER HEAD ELECTRICAL
 - EXIST. BUILDING STRUCTURE
 - EXIST. BUILDING STRUCTURE (GAS APPROX.)
 - PROPOSED CENTERLINE
 - PROPOSED R.O.W. TAKE
 - PROPOSED EASEMENT TAKE
 - SET IRON ROD

● BASIS OF BEARINGS TAKEN FROM WEST LINE OF PUEBLO NUEVO SUBDIVISION AS RECORDED IN VOLUME 5, PAGE 19 OF THE MAP RECORDS OF WEBB COUNTY, TEXAS.

● COORDINATE SYSTEM: NAD83/NAVDS8, STATE PLANE 4205 GRID, GRID TO SURFACE FACTOR BEING 1.00007

● RTK GPS DATA COLLECTION WAS USED. RTK BASE COORDINATES WERE DETERMINED USING GPS STATIC OBSERVATIONS WITH DIFFERENTIAL CORRECTIONS APPLIED FROM FOSTER ENGINEERING OFFICE BASE COORDINATES.

I, Augusto F. Pena, a Registered Professional Land Surveyor, do hereby certify that the foregoing plat is true and correct to my best knowledge and belief and was prepared from an actual survey made on the ground, under my direction and from office records available, without the benefit of a complete title search.

WITNESS MY HAND AND SEAL

9/27/02

NOTE:

LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THIS SURVEY SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. ANY PERSONS DOING EXCAVATION SHALL STILL BE REQUIRED TO CONDUCT UTILITY LOCATES IN A MANNER THAT SATISFIES THE REQUIREMENTS OF UTILITY COMPANIES AS WELL AS ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ANY PERSONS DOING EXCAVATION SHALL BEAR FULL RESPONSIBILITIES OF PROTECTING EXISTING UTILITY LINES.

AUGUSTO F. PENIA, R.P.L.S. # 3469
P.E. # 12455



EXHIBIT

B

TRACT 13-12-E1

**STATE OF TEXAS
COUNTY OF WEBB**

A TRACT OF LAND CONTAINING 0.0302 ACRES, more or less, situated in Webb County, Texas, said 0.0302 acre tract being out of Lot 12, Block 13, Pueblo Nuevo Subdivision recorded in Volume 5, Page 19, Map Records of Webb County, Texas, this 0.0302 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a ½" diameter iron rod set with cap marked "FEC" being the southwest corner of said Lot 12, Block 13 for the southwest corner of this 0.0302 acre tract;

THENCE due north, a distance of 15.00' to a ½" diameter iron rod set with cap marked "FEC" for the northwest corner hereof;

THENCE S89°49'00"E a distance of 87.75' to a ½" diameter iron rod set with cap marked "FEC" for the northeast corner hereof;

THENCE due south, a distance of 15.00' to a ½" diameter iron rod set with cap marked "FEC" for the southeast corner hereof;

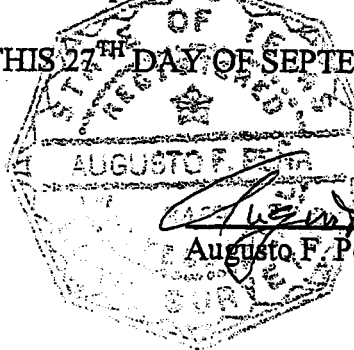
THENCE N89°49'00"W a distance 87.75' to the **PLACE OF BEGINNING** of this 0.0302 acre, more or less, tract of land.

Note: Basis of bearings taken from the west line of Pueblo Nuevo Subdivision as recorded in Volume 5, Page 19 of the Map Records of Webb County.

**STATE OF TEXAS
COUNTY OF WEBB**

I, Augusto F. Pena, a Registered Professional Land Surveyor, do hereby certify that the foregoing metes and bounds description is true and correct to my best knowledge and was prepared from an actual survey made on the ground, under my direction and from office records available, without the benefit of a complete title search.

WITNESS MY HAND AND SEAL THIS 27TH DAY OF SEPTEMBER, 2002.



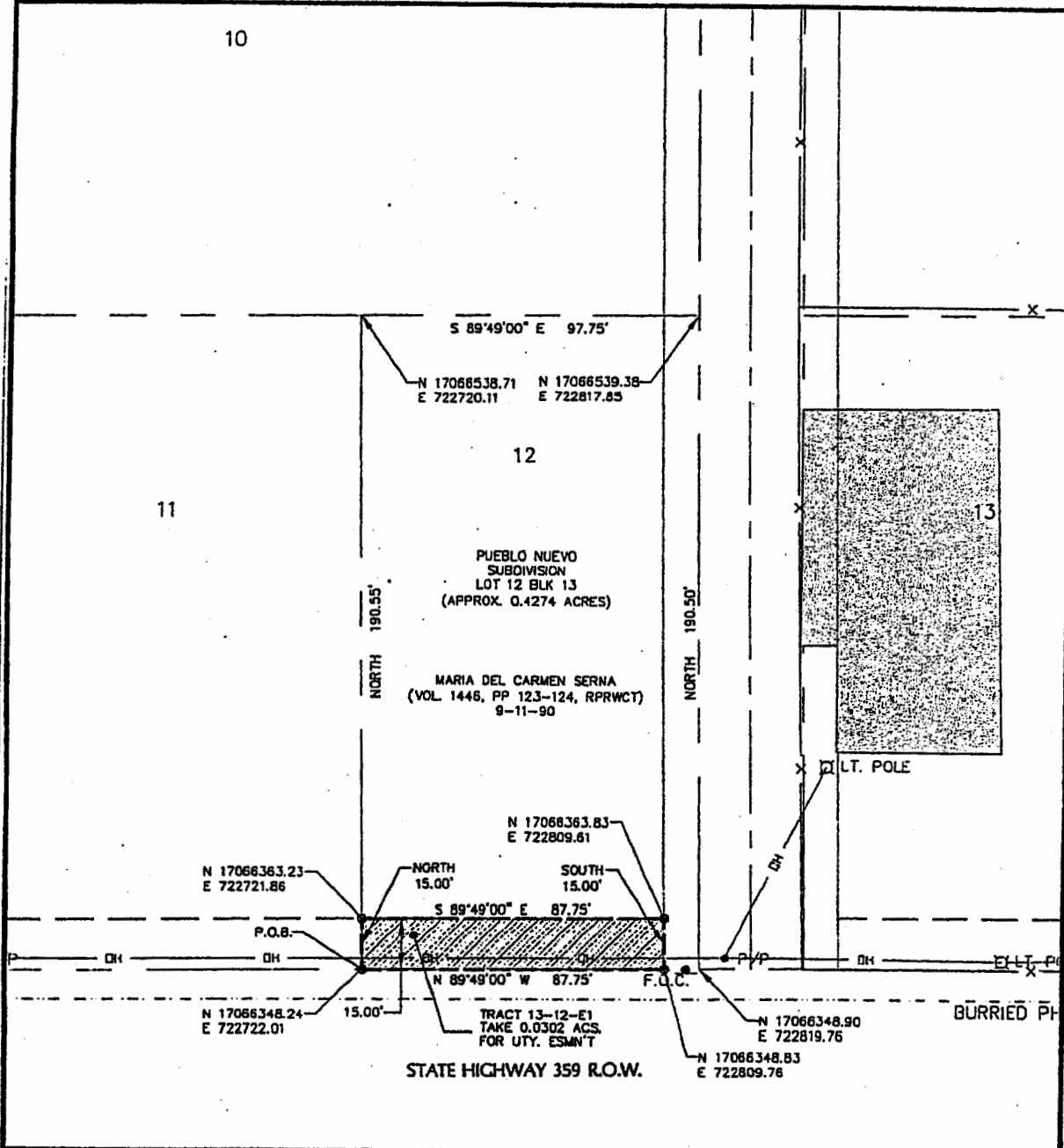
Augusto F. Pena, R.P.L.S.# 3469
P.E.# 12455



SURVEY
OF
TRACT 13-12-E1
BEING A 0.0302 ACRE TRACT OF LAND
OUT OF
LOT 12 BLOCK 13, PUEBLO NUEVO SUBDIVISION
VOL 5, PG. 19, MAP RECORDS OF WEBB COUNTY, TEXAS

FOSTER ENGINEERING CO.
1004 HILLSIDE ROAD
LAREDO, TEXAS 78041
(956) 723-3451
FILE: PN.8.9.02.0WG

SCALE: 1" = 40'



LEGEND

- DASHED PLATTED PROPERTY LINES
- DASHED PROPERTY LINES
- DASHED FENCES
- DASHED BURIED COMMUNICATION LINE
- DASHED OVER HEAD ELECTRICAL
- DASHED BUILDING STRUCTURE
- DASHED BUILDING STRUCTURE (DMS APPROX.)
- PROPOSED CENTERLINE
- PROPOSED R.O.W. TAKE
- PROPOSED EASEMENT TAKE
- SET IRON NOD

- BASIS OF BEARINGS TAKEN FROM WEST LINE OF PUEBLO NUEVO SUBDIVISION AS RECORDED IN VOLUME 5, PAGE 19 OF THE MAP RECORDS OF WEBB COUNTY, TEXAS.
- COORDINATE SYSTEM: NAD83/NAV88, STATE PLANE 4205 GRID, GRID TO SURFACE FACTOR BEING 1.00007
- RTK GPS DATA COLLECTION WAS USED. RTK BASE COORDINATES WERE DETERMINED USING GPS STATIC OBSERVATIONS WITH DIFFERENTIAL CORRECTIONS APPLIED FROM FOSTER ENGINEERING OFFICE BASE COORDINATES.

I, Augusto F. Pena, a Registered Professional Land Surveyor, do hereby certify that the foregoing plat is true and correct to my best knowledge and belief and was prepared from an actual survey made on the ground, under my direction and from office records available, without the benefit of a complete title search.

WITNESS MY HAND AND SEAL

7/27/02

NOTE:

LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THIS SURVEY SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. ANY PERSONS DOING EXCAVATION SHALL STILL BE REQUIRED TO CONDUCT UTILITY LOCATES IN A MANNER THAT SATISFIES THE REQUIREMENTS OF UTILITY COMPANIES AS WELL AS ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ANY PERSONS DOING EXCAVATION SHALL BEAR FULL RESPONSIBILITIES OF PROTECTING EXISTING UTILITY LINES.

AUGUSTO F. PENA, R.P.E.S. # 3469
P.E. # 12455



EXHIBIT

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COUNCIL COMMUNICATION

DATE 01-12-04	SUBJECT: RESOLUTION NO. 2004-R-03 Accepting the donation of the "Surface Only" of a parcel of land from Cielito Lindo, Ltd., a Texas Limited Partnership, for the Construction of a fire station in the Cielito Lindo Subdivision. Said parcel of land being Lot 2, Block 3, Cielito Lindo Subdivision, City of Laredo, Webb County, Texas.	
INITIATED BY: Cynthia Collazo Assistant City Manager		STAFF SOURCE: Angelo Ferrazzano Real Estate Manager
PREVIOUS COUNCIL ACTION: None.		
BACKGROUND: The City of Laredo is in the process of constructing a fire station in South Laredo due to the growth in that area. In that regard, Mr. Rosendo Carranco, Manager of Cielito Lindo, Ltd., has executed a Warranty Deed conveying to the City of Laredo, Lot 2, Block 3, in the Cielito Lindo Subdivision. The construction of a fire station will provide immediate access to fire protection services to the residents in the South Laredo area. In order to proceed with the construction of a fire station in the South Laredo area, it is in the best interest of the City of Laredo to accept the donation of the above-referenced parcel of land.		
FINANCIAL IMPACT: Land. Acct. 991-0000-161-0000		
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: Staff recommends approval of Resolution.

RESOLUTION NO. 2004-R-03

ACCEPTING THE DONATION OF THE "SURFACE ONLY" OF A PARCEL OF LAND FROM CIELITO LINDO, LTD., A TEXAS LIMITED PARTNERSHIP, FOR THE CONSTRUCTION OF A FIRE STATION IN THE CIELITO LINDO SUBDIVISION. SAID PARCEL OF LAND BEING LOT 2, BLOCK 3, CIELITO LINDO SUBDIVISION, CITY OF LAREDO, WEBB COUNTY, TEXAS.

WHEREAS, the City of Laredo is in the process of constructing a fire station in South Laredo due to the growth in that area; and

WHEREAS, Mr. Rosendo Carranco, Manager of Cielito Lindo, Ltd., has executed a Warranty Deed conveying to the City of Laredo, Lot 2, Block 3, in the Cielito Lindo Subdivision, for the construction of said fire station; and

WHEREAS, the construction of a fire station will provide immediate access to fire protection services to the residents in the South Laredo area; and

WHEREAS, in order to proceed with the construction of a fire station in the South Laredo area, it is in the best interest of the City of Laredo to accept the donation of the above-referenced parcel of land.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

- A. It hereby accepts the donation of the "Surface Only" of a parcel of land from Cielito Lindo, Ltd., a Texas Limited Partnership, for the construction of a fire station in the Cielito Lindo Subdivision. Said parcel of land being Lot 2, Block 3, Cielito Lindo Subdivision, City of Laredo, Webb County, Texas.
- B. This Resolution shall become effective upon passage thereof.


PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON
THIS, THE _____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

By: 

ANTHONY C. McGETTRICK
ASST. CITY ATTORNEY

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COUNCIL COMMUNICATION

DATE: 01 / 12 /2004	SUBJECT: RESOLUTION NO. 2004-R-004 Authorizing the City Manager to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the "Menudo Bowl" scheduled for January 24, 2004.
INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Agustin Dovalina,III Chief of Police
PREVIOUS COUNCIL ACTION: None.	
ACTION PROPOSED: That this Resolution be passed and approved.	
BACKGROUND: This year, the Nineth Annual Crime Stoppers Menudo Bowl is scheduled for January 24, 2004 from 12:00p.m. to 10:00 p.m. This festivity attracts many people and attendance is expected to surpass last year's. In the past, the Laredo Police Department has assisted the Webb County Sheriff's Department, through an Interlocal Governmental Agreement, in traffic control, crowd control and general law enforcement.	
FINANCIAL: None	
RECOMMENDATION:	STAFF: Recommends that Council approve this resolution.

RESOLUTION NO. 2004-R-004

Authorizing the City Manager to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the "Menudo Bowl" scheduled for January 24, 2004.

Whereas, the City Council of the City of Laredo now hereby finds and determines that it is necessary and in the best interest of the City to enter into an Interlocal Governmental Agreement between the City of Laredo and the County of Webb; and

Whereas, the City Council of the City of Laredo hereby authorizes the City Manager to enter into and execute an Interlocal Governmental Agreement between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the "Menudo Bowl" scheduled for January 24, 2004.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That the City Manager is hereby Authorized to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the Ninth Annual Crime Stoppers "Menudo Bowl" scheduled for January 24, 2004.

Section 2: That the execution of this Interlocal Governmental Agreement between the City of Laredo and Webb County will provide law enforcement assistance to the Webb County Sheriff's Department during the Ninth Annual Crime Stoppers "Menudo Bowl" scheduled for January 24, 2004.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
CITY MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:



JAIME FLORES
CITY ATTORNEY

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COUNCIL COMMUNICATION

DATE: 01 / 12 /2004	SUBJECT: RESOLUTION NO. 2004-R-005 Authorizing the City Manager to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the various Washington's Birthday Celebration festivities scheduled for January 31, 2004 to February 28, 2004.
INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Agustin Dovalina, III Chief of Police
PREVIOUS COUNCIL ACTION: None.	
ACTION PROPOSED: That this Resolution be passed and approved.	
BACKGROUND: This year, the Washington's Birthday Celebration Festivities will begin on January 31, 2004 to February 28, 2004. These festivities include such events as the Jalapeno Festival and the Carnival. Many people attend these festivities in record numbers and this year's attendance is expected to surpass last year's. In the past, the Laredo Police Department has assisted the Webb County Sheriff's Department, through an Interlocal Governmental Agreement, in traffic control, crowd control and general law enforcement.	
FINANCIAL: None	
RECOMMENDATION:	STAFF: Recommends that Council approve this resolution.

RESOLUTION NO. 2004-R-005

Authorizing the City Manager to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the various Washington's Birthday Celebration festivities scheduled for January 31, 2004 to February 28, 2004.

Whereas, the City Council of the City of Laredo now hereby finds and determines that it is necessary and in the best interest of the City to enter into an Interlocal Governmental Agreement between the City of Laredo and the County of Webb; and

Whereas, the City Council of the City of Laredo hereby authorizes the City Manager to enter into and execute an Interlocal Governmental Agreement between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the various Washington's Birthday Celebration festivities scheduled for January 31, 2004 to February 28, 2004.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That the City Manager is hereby Authorized to enter into and execute an Interlocal Governmental Agreement pursuant to the Vernon's Texas Government Code, Chapter 791, between the City of Laredo and the County of Webb, in which Webb County's law enforcement agency, namely the Webb County Sheriff's Department and the City's law enforcement agency, namely the Laredo Police Department, require the formation of a mutual aid law enforcement task force to mutually assist each other in the areas of traffic control, crowd control, and general law enforcement both within and beyond the city limits during the various Washington's Birthday Celebration festivities scheduled for January 31, 2004 to February 28, 2004.

Section 2: That the execution of this Interlocal Governmental Agreement between the City of Laredo and Webb County will provide law enforcement assistance to the Webb County Sheriff's Department during the various Washington's Birthday Celebration festivities scheduled for January 31, 2004 to February 28, 2004.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
CITY MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:



JAIME FLORES
CITY ATTORNEY

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: RESOLUTION NO. 2004-R-006 DECLARING A PUBLIC NECESSITY TO UTILIZE THE AREA UNDER IH-35, BETWEEN PARK STREET, AND SANCHEZ STREET, AS A PARKING STAGING AREA ON JANUARY 31, 2004 FOR THE JAMBOOZIE FESTIVAL, FEBRUARY 18, 2004 FOR THE ANNUAL YOUTH PARADE AND ON FEBRUARY 21, 2004 FOR THE WASHINGTON'S BIRTHDAY PARADE AND AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT WITH TEXAS DEPARTMENT OF TRANSPORTATION FOR THE USE OF SAID PROPERTY.
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Roberto Murillo, P.E, Traffic Director
PREVIOUS COUNCIL ACTION: None.	
BACKGROUND: The Jamboozie Festival, the Annual Youth Parade, and the Washington's Birthday Celebration Parade creates significant amount of parking congestion within the vicinity of the parade route including the areas along IH-35 frontage roads. The parking of vehicles on sidewalks and prohibited parking areas adjacent to IH-35 was observed in past parades that required improperly parked vehicles to be towed away since a safety hazard was created by forcing pedestrians to utilize street. The Jamboozie Festival that is held annually within the downtown area has generated increased attendance each year and reserved use of this area could also provide additional parking for the event. The Texas Department of Transportation has agreed to allow use of the open area under IH-35, between Park Street, and Sanchez Street, for vehicular parking during the parades and during the Jamboozie Festival so as to discourage parking in prohibited areas and minimize safety hazards. A safety hazard exists as a result of parked vehicles on sidewalks and in prohibited areas and it is in the best interest of the City to use the area under IH-35 between Park Street, and Sanchez Street, for providing additional parking of those attending these events. The City will be responsible for operating the parking areas during these events.	
FINANCIAL: None.	
RECOMMENDATION:	STAFF: It is recommended that this Resolution be adopted.

A RESOLUTION NO. 2004 – R – 006

DECLARING A PUBLIC NECESSITY TO UTILIZE THE AREA UNDER IH-35, BETWEEN PARK STREET, AND SANCHEZ STREET, AS A PARKING STAGING AREA ON JANUARY 31, 2004 FOR THE JAMBOOZIE FESTIVAL, FEBRUARY 18, 2004 FOR THE ANNUAL YOUTH PARADE AND ON FEBRUARY 21, 2004 FOR THE WASHINGTON'S BIRTHDAY PARADE AND AUTHORIZING CITY MANAGER TO ENTER INTO AN AGREEMENT WITH TEXAS DEPARTMENT OF TRANSPORTATION FOR THE USE OF THE SAID PROPERTY.

WHEREAS, the annual Youth Parade and the Washington's Birthday Celebration Parade creates significant amount of parking congestion within the vicinity of the parade route including the areas along IH-35 frontage roads;

WHEREAS, parking of vehicles on sidewalks and prohibited parking areas adjacent to IH-35 has occurred in past WBCA parades and it has required improperly parked vehicles to be towed-away due to the safety hazard created by pedestrians to utilize streets for parking;

WHEREAS, the Jamboozie Festival that is held annually within the downtown area has generated increased attendance each year and reserved use of this area could provide additional parking for the event;

WHEREAS, Texas Department of Transportation has agreed to allow the use of the open area under IH-35, between Park Street, and Sanchez Street, for vehicular parking during the Jamboozie Festival and WBCA parades so as to discourage parking in prohibited parking areas and minimize safety hazards;

WHEREAS, City Council has declared that a safety hazard exists as a result of parked vehicles on sidewalks and in prohibited areas and it is in the best interest of the city to use the area under IH-35 between Park Street, and Sanchez Street for providing additional parking to those attending the Jamboozie Festival and WBCA parades;

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

1. It authorizes the City Manager to enter into an Agreement with Texas Department of Transportation to utilize the open area under IH-35, between Park Street, and Sanchez Street, for a parking staging area on January 31, 2004 for the Jamboozie Festival, February 18, 2004 for the annual Youth Parade, and on February 21, 2004 for the Washington's Birthday Parade.
2. The City will be responsible for staffing parking area to provide orderly parking during the said parades,

APPROVED BY THE MAYOR ON THIS THE _____ DAY _____, 2004.

Elizabeth G. Flores

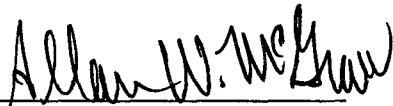
MAYOR

Attest:

Gustavo Guevara, Jr.
City Secretary

APPROVED AS TO FORM:

Jaime L. Flores
City Attorney

By: 
Allan W. McGraw
Assistant City Attorney

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COUNCIL COMMUNICATION

DATE: 1/12/04	SUBJECT: RESOLUTION 2004-R-008 ACCEPTING THE DONATION OF A 12.8167 ACRE PARCEL OF LAND FROM THE TEXAS-MEXICAN RAILWAY COMPANY AS LEGALLY DESCRIBED ON THE SPECIAL WARRANTY DEED ATTACHED AS EXHIBIT "A" AND AUTHORIZING THE DONATION OF THIS PARCEL OF OPEN SPACE LAND IN THE CITY FOR DEVELOPMENT AS PART OF THE ZACATE CREEK LINEAR PARK.	
INITIATED BY: Larry Dovalina City Manager		STAFF SOURCE: Horacio De Leon Parks and Recreation Director
PREVIOUS COUNCIL ACTION: City Council approved a resolution for Zacate Creek Linear Park grant application to Texas Parks and Wildlife on January 27, 2003.		
BACKGROUND: The City of Laredo continues to be behind the national average in parks to population ratios. Developing and rehabilitating area parks around Zacate Creek would provide much needed and varied recreational opportunities. This proposed development would also fulfill priority concerns that were outlined in the updated Parks and Open Space Master Plan. The Texas Parks and Wildlife Department offers the City of Laredo an opportunity to apply for grant assistance for outdoor park development projects. The City of Laredo has received by donation a 12 acre parcel of land from the Tex-Mex Railroad Company that adjoins Zacate Creek and would be a suitable location for fishing and birding stations while remaining predominately as open green space.		
FINANCIAL IMPACT: Land will be received as part of the contribution (matching) for the Zacate Creek Linear Park Grant from the Texas Parks and Wildlife Department. Account No. 402-0000-372-1028 and Land Account No. 991-0000-161-0000		
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: Recommends Approval.

RESOLUTION NO. 2004-R-008

ACCEPTING THE DONATION OF A 12.8167 ACRE PARCEL OF LAND FROM THE TEXAS-MEXICAN RAILWAY COMPANY AS LEGALLY DESCRIBED ON THE SPECIAL WARRANTY DEED ATTACHED AS EXHIBIT "A" AND AUTHORIZING THE DONATION OF THIS PARCEL OF OPEN SPACE LAND IN THE CITY FOR DEVELOPMENT AS PART OF THE ZACATE CREEK LINEAR PARK.

WHEREAS, the City of Laredo, Texas is working on the development and improvement of the Zacate Creek Linear Park; and

WHEREAS, the City Council of Laredo, Texas authorizes the donation of open space land contained within the Zacate Creek Linear Park development project to include fishing and birding amenities; and

WHEREAS; the City of Laredo declares that the open space area within the park will remain predominantly undeveloped with no permanent structures.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

1. This hereby authorizes the donation of open space land contained within the Zacate Creek Linear Park project to be developed as parkland, remaining predominantly as open green space.
2. This resolution shall become effective upon passage thereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

BY: _____
ALLAN W. McGRAW
ASSISTANT CITY ATTORNEY

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: RESOLUTION #2004-R-009 Authorizing the City Manager to submit a grant application with the Office of the Governor, Criminal Justice Division for \$1,142,115 to fund the Laredo Narcotics Task Force. The City of Laredo and participating agencies will designate 25% of the amount awarded. This funding will be used to pay salaries, direct operating expenses and the purchase of equipment from June 1, 2004 through May 31, 2005.	
INITIATED BY: Cynthia Collazo Assistant City Manager		STAFF SOURCE: Agustin Dovalina III Chief of Police
PREVIOUS COUNCIL ACTION: None		
BACKGROUND: The City of Laredo has been the Grantee agency for the past 15 years of the Multi-Agency Narcotics Task Force. The Task Force works together with the other Government Agencies and enforces Federal and State narcotics laws in the City of Laredo and the counties of Webb and Zapata. This grant pays for salaries, benefits and direct operating expenses. Overtime Expenses are requested from the program income that has been generated from the seizure of funds.		
FINANCIAL IMPACT: CJD will designate \$1,142,115 and the City of Laredo and participating agencies will designate 25% of the amount awarded.		
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: Staff recommends that this Resolution be passed.

RESOLUTION #2004-R-009

AUTHORIZING THE CITY MANAGER TO SUBMIT A GRANT APPLICATION WITH THE OFFICE OF THE GOVERNOR, CRIMINAL JUSTICE DIVISION FOR \$1,142,115 TO FUND THE LAREDO NARCOTICS TASK FORCE. THE CITY OF LAREDO AND PARTICIPATING AGENCIES WILL DESIGNATE 25% OF THE AMOUNT AWARDED. THIS FUNDING WILL BE USED TO PAY SALARIES, DIRECT OPERATING EXPENSES AND THE PURCHASE OF EQUIPMENT FROM JUNE 1, 2004 THROUGH MAY 31, 2005.

Whereas, the City Council previously adopted the budget for fiscal year 2003-2004; and

Whereas, grant funds are awarded through the Governor's Office Criminal Justice Division; and

Whereas, the Chief of Police recommends the submission of this grant application which will be used to pay salaries, fringe benefits, indirect operating expenses and to purchase equipment; and

Whereas, 100% of the matching funds for this program will be paid proportionally by all corresponding agencies based on number of participants; and

Whereas, the City of Laredo in the event of loss or misuse of CJD funds, the governing body assures that the funds will be returned to CJD in full; and

Whereas, the City of Laredo has agreed that the City Manager will serve as the grantee's authorized official. The authorized official is authorized to apply for, accept, decline, alter or terminate the grant on behalf of the application agency.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Authorizing the City Manager to submit a grant application with the Office of the Governor, Criminal Justice Division to fund the Laredo Narcotics Task Force. This funding will be used to pay salaries, direct operating expenses and the purchase of equipment from June 1, 2004 through May 31, 2005.

Section 2: The City of Laredo and the participating agencies will designate 25% of the amount awarded.

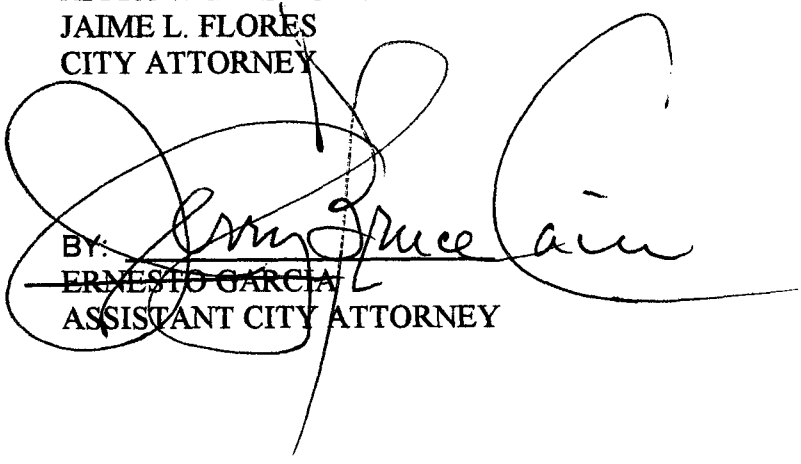
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
____ DAY OF _____, 2004.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME L. FLORES
CITY ATTORNEY

BY: 

ERNESTO GARCIA
ASSISTANT CITY ATTORNEY

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: RESOLUTION NO. 2004 -R- 010 AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT BETWEEN THE CITY OF LAREDO AND SOUTH TEXAS NATIONAL BANK OF LAREDO FOR FUNDING THE INSTALLATION OF A TRAFFIC SIGNAL ON McPHERSON ROAD AT STERLING LOOP/TIARA TRAIL.
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Roberto Murillo, P.E, Traffic Director
PREVIOUS COUNCIL ACTION: None.	
BACKGROUND: The City of Laredo Traffic Safety Department has received a request from South Texas National Bank of Laredo to consider installing a traffic signal on McPherson Road at Sterling Loop/Tiara Trail. South Texas National Bank of Laredo, is in agreement to fund the cost of the signal (\$110,000) through an agreement similar to the one held between the City and Wal-Mart/Killam Corporation. South Texas National Bank of Laredo contracted TEDSI Infrastructure Group Consulting Engineers to provide the City of Laredo Traffic Safety Department with a traffic signal warrant analysis. The submitted warrant analysis satisfies at least three traffic signal warrants according to the current Manual on Uniform Traffic Control Devices (MUTCD). The proposed traffic signal will provide for network interconnectivity.	
FINANCIAL: South Texas National Bank of Laredo has agreed to fund costs associated with the installation of the traffic signal.	
RECOMMENDATION:	STAFF: It is recommended that this Resolution be adopted.

A RESOLUTION NO. 2004 - R - 010

AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT BETWEEN THE CITY OF LAREDO AND SOUTH TEXAS NATIONAL BANK OF LAREDO FOR FUNDING THE INSTALLATION OF A TRAFFIC SIGNAL ON McPHERSON ROAD AT STERLING LOOP/TIARA TRAIL.

WHEREAS, the City Manager recommends that the City enter into an agreement between the City of Laredo and South Texas National Bank of Laredo for the installation of a traffic signal to improve traffic flow on McPherson Road at Sterling Loop/Tiara Trail;

WHEREAS, South Texas National Bank of Laredo has agreed to provide funding for all equipment and any other items associated for complete installation and activation of the traffic signal;

WHEREAS, South Texas National Bank of Laredo has agreed to furnish necessary approved plans and specifications for the traffic signal and any additional studies that may be required for authorizing the installation and activation of the traffic signal;

WHEREAS, the City of Laredo agrees to be responsible for the installation of said traffic signal;

WHEREAS, the City of Laredo agrees to provide traffic signal maintenance and repairs at no cost to South Texas National Bank of Laredo and to fund electricity costs associated with operation of the traffic signal;

WHEREAS, City Council finds that it is in the best interest to enter into an agreement with South Texas National Bank of Laredo to construct and fund such improvements.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

1. That it authorizes the City Manager to enter into an Agreement with South Texas National Bank of Laredo to undertake these improvements at the intersection of McPherson Road at Sterling Loop/Tiara Trail, a copy of which is attached hereto and incorporated by reference.
2. That the amount of \$110,000 will be provided in advance to the City of Laredo by South Texas National Bank of Laredo to fund complete installation of the traffic signal;

3. That the City will be responsible for maintenance and repairs of the traffic signal and for electricity costs for the operation of the traffic signal and South Texas National Bank of Laredo will provide funding for all equipment and any other items associated for complete installation and activation of the traffic signal to furnish necessary approved plans and specifications for the traffic signal and any additional studies that may be required for authorizing the installation and activation of the traffic signal;

APPROVED BY THE MAYOR ON THIS _____ DAY _____, 2004.


Elizabeth G. Flores
Mayor

Attest:

Gustavo Guevara, Jr.
City Secretary

APPROVED AS TO FORM:

Jaime L. Flores
City Attorney

By: 
Allan W. McGraw
Assistant City Attorney

COUNCIL COMMUNICATION

DATE: 12/17/01	SUBJECT: MOTION Consideration to reschedule the City Council meeting of February 16, 2004 to Tuesday, February 17, 2004, due to President's Day holiday.					
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Larry Dovalina, City Manager				
PREVIOUS COUNCIL ACTION: N/A						
BACKGROUND: February 16, 2004 is President's Day. The City observes both this holidays as per Ordinance 2001-O-217. Proposition to consider the following to allow staff to plan accordingly. <div style="text-align: center;"><u>February 2004</u></div> <table border="1" style="margin: 10px auto;"><thead><tr><th>Current schedule</th><th>Proposed Schedule</th></tr></thead><tbody><tr><td>February 16, 2003 (Holiday)</td><td>February 17, 2004 (Tuesday)</td></tr></tbody></table>			Current schedule	Proposed Schedule	February 16, 2003 (Holiday)	February 17, 2004 (Tuesday)
Current schedule	Proposed Schedule					
February 16, 2003 (Holiday)	February 17, 2004 (Tuesday)					
FINANCIAL IMPACT: None.						
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: None.				

COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: MOTION Authorizing the City Manager to: (1) execute the City of Laredo's Contract for 9-1-1 Services with the South Texas Development Council (STDC) and the Texas Commission on State Emergency Communications (CSEC) relating to establishing the City of Laredo as the administrator for the provision of all 9-1-1 emergency services for Laredo and for the counties of Jim Hogg, Starr, Webb, Zapata and cities within this area; (2) execute all necessary interlocal agreements with each county and city within the 9-1-1 area regarding the respective 9-1-1 system responsibilities of said entities; and (3) submit the revised FY 2004-2005, Stage Two 9-1-1 Regional Strategic Plan to the CSEC for approval.	
INITIATED BY: Larry Dovalina City Manager		STAFF SOURCE: Jaime L. Flores City Attorney
PREVIOUS ACTION: None.		
BACKGROUND: None.		
FINANCIAL: None.		
RECOMMENDATION:		STAFF RECOMMENDATION:

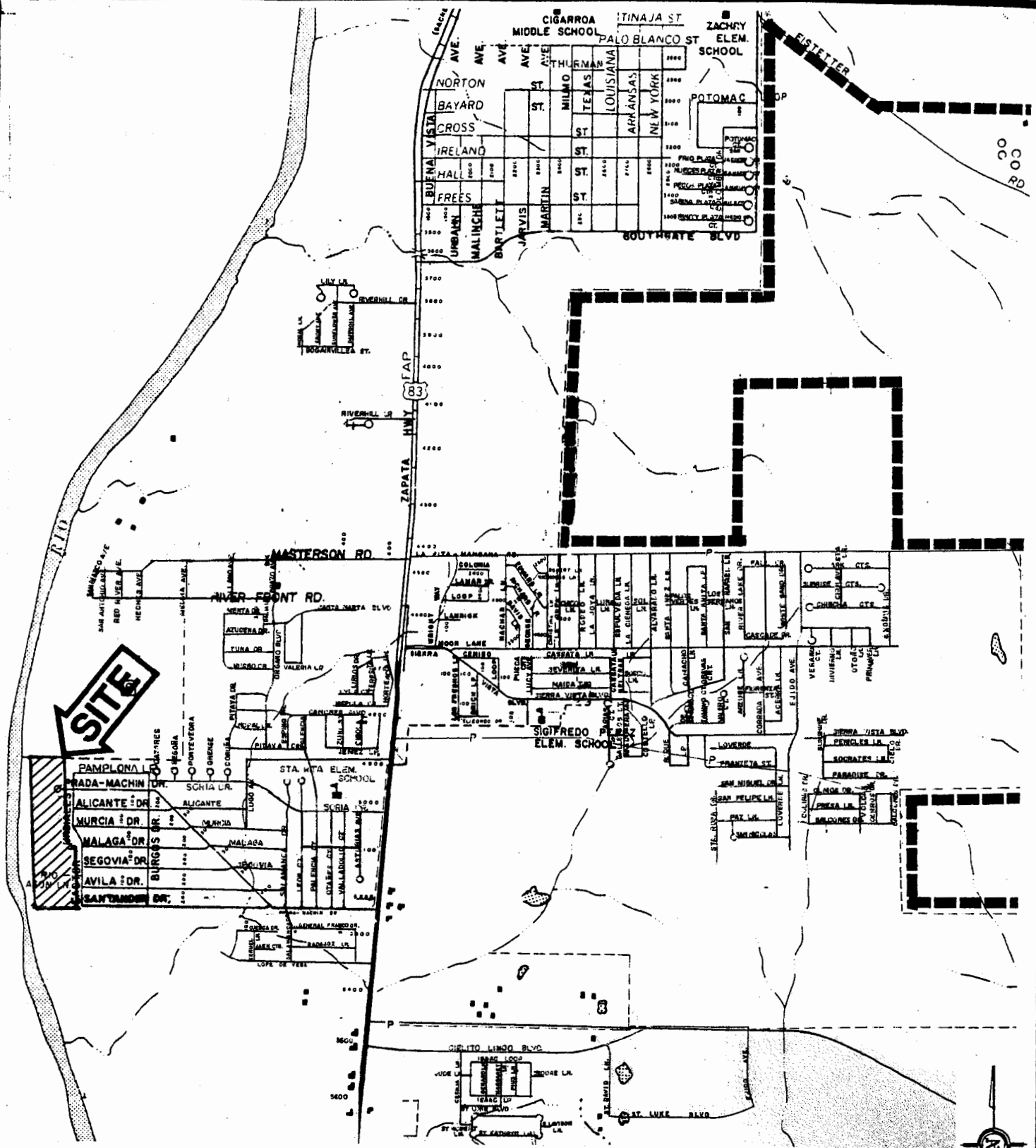
COUNCIL COMMUNICATION

DATE: 1/12/04	SUBJECT: MOTION Authorization to advertise for bids for the construction of the Chacon Extension Wastewater Trunk line from Highway 59 and the Chacon Creek to the Bob Bullock Loop east of the Laredo Entertainment Center. The project construction is scheduled for 360 calendar days. Funding is available in the 1998-A Bond Issue Chacon Interceptor.		
<table style="width: 100%;"><tr><td style="width: 50%; vertical-align: top;">INITIATED BY: Larry Dovalina, City Manager</td><td style="width: 50%; vertical-align: top;">STAFF SOURCE: Heberto Ramirez, Utilities Director</td></tr></table>		INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Heberto Ramirez, Utilities Director
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Heberto Ramirez, Utilities Director		
PREVIOUS COUNCIL ACTION: Amendment #2 was awarded to Sherfey Engineering Co., on June 16, 2003.			
BACKGROUND: The Chacon Extension Project consist of extending a 36"/18" sewer line from Highway 59 and Chacon Creek to the Bob Bullock Loop east of the Laredo Entertainment Center. The proposed construction schedule is for 360 calendar days. The advertisement schedule is as follows: <ul style="list-style-type: none">- Advertise on Sunday January 18, 2004 and Sunday January 25, 2004.- Pre-bid meeting on Wednesday at 10:00 AM, January 28, 2004.- Open bids on Friday at 4:00 PM, February 20, 2004.- Tentatively award contract to lowest bidder on Monday, March 1, 2004. The basic engineering and surveying services are conducted by Sherfey Engineering, Co., Laredo, Texas.			
FINANCIAL IMPACT: Funds are available in the 1998-A. Bond Issue Chacon Interceptor. 559-4275-538.02-16.			
COMMITTEE RECOMMENDATION: N/A	STAFF RECOMMENDATION: To Approve Motion		

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Authorizing the City Manager to initiate termination of construction contract with Pete Gallegos Paving, Inc., Laredo, Texas, for the Santa Rita Park Improvements Project pursuant to paragraph C-9.08 of the construction contract documents and the Engineer's Certificate stating that sufficient cause exists to justify termination of the construction contract, and take actions as are permitted under the terms of the construction contract.						
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rogelio Rivera, P.E., City Engineer						
PREVIOUS COUNCIL ACTION: On June 3, 2002, City Council approved to award a construction contract to the sole bidder Pete Gallegos Paving, Inc., Laredo, Texas, for the Santa Rita Park Improvements - Phase I in a negotiated amount of \$503,795.25 and approval of change order no. 1 to delete off-site public improvements to be constructed by the Santa Rita Plat requirements in the amount of \$68,542.75 for a net negotiated award amount of \$435,252.50.							
BACKGROUND: <p>The original project consisted of construction three (3) soccer fields including grading, irrigation, and seeding, a concession and restroom facility, off-street parking, water, wastewater, stormwater and site improvements. Project also included pollution prevention and traffic management measures.</p> <p>Plans and specifications were prepared by Crane Engineering Corporation, Laredo, Texas.</p> <p>To date, Pete Gallegos Paving, Inc., has been paid a total of \$11,637.50 (or approximately 3%) out of the \$435,252.50 total construction contract amount, with a balance of \$423,615.00 remaining on the contract. The Notice to Proceed was issued on June 24, 2002, and the contract time was 135 calendar days. On February 10, 2003, the contractor was notified that he has discontinued work without authority and was 42 days over the contract time, and the project was at a standstill, and was further notified to satisfactorily correct such delay or neglect immediately, otherwise the work may be declared abandoned per Section C-8.10 of the contract documents.</p> <p>On May 24, 2003, a concrete slab for the concession stand was poured, however, the work was unacceptable because the workmanship was not per plans and specifications. A submittal by the contractor to provide a cure was not accepted since the submittal did not structurally enhanced the concrete slab. The contractor was requested to remove and reconstruct the concrete slab and foundation including all rough-in and site preparation to plans and specifications.</p> <p style="text-align: center;">Continue on Page 2 of 2</p>							
FINANCIAL IMPACT: <table style="width: 100%; border: none;"><tr><td style="width: 40%;">Account No. 211-0000-206-0100</td><td style="text-align: right;">\$612.50</td></tr><tr><td>211-8080-535-1328</td><td style="text-align: right;">\$129,092.25</td></tr><tr><td>211-8480-535-1346</td><td style="text-align: right;">\$293,910.25</td></tr></table>		Account No. 211-0000-206-0100	\$612.50	211-8080-535-1328	\$129,092.25	211-8480-535-1346	\$293,910.25
Account No. 211-0000-206-0100	\$612.50						
211-8080-535-1328	\$129,092.25						
211-8480-535-1346	\$293,910.25						
COMMITTEE RECOMMENDATION: N/A.	STAFF RECOMMENDATION: Approval of Motion.						

As of date, there is no visible activity at the work site, and no schedule submitted for removal of the unaccepted work. Since there has been no response to remove the unacceptable work, the failure to satisfactorily correct rejected work is a substantial violation of the contract documents and therefore per Section C-9.08 of the contract documents, Staff recommends that the process to terminate the construction contract for the Santa Rita Project be initiated per provisions of same section of the contract documents.



**AUTHORIZING THE CITY MANAGER TO INITIATE TERMINATION OF
CONSTRUCTION CONTRACT FOR THE SANTA RITA PARK IMPROVEMENTS PARK**

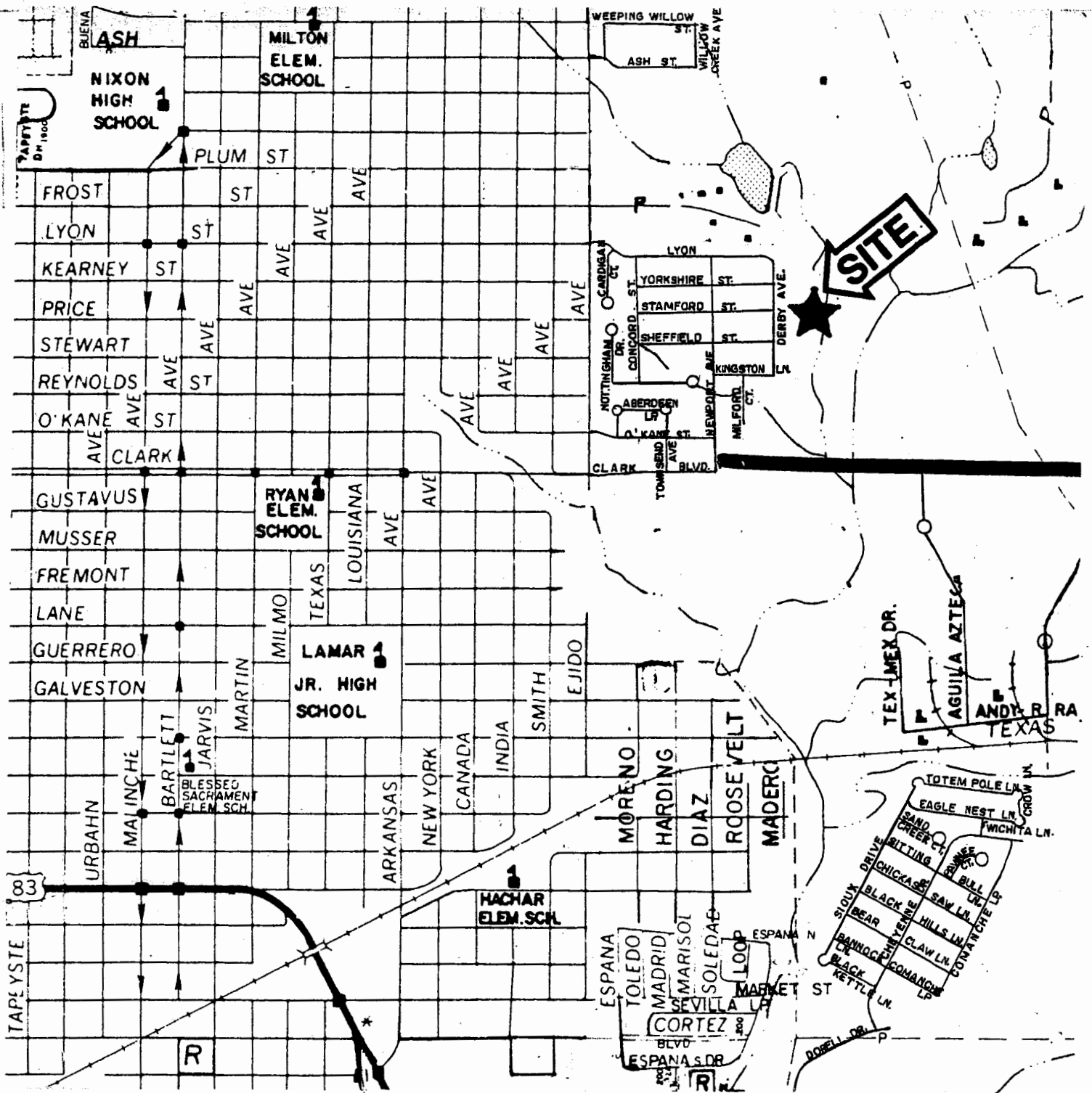
**CITY COUNCIL MEETING
JANUARY 12, 2004**

**CITY OF LAREDO
ENGINEERING DEPARTMENT**
1110 HOUSTON ST. P.O. BOX 579 PM. 791-7346 FAX (210) 791-7496

AGENDA ITEM

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Authorizing the City Manager to initiate termination of construction contract with Pete Gallegos Paving, Inc., Laredo, Texas, for the Eastwoods Park Project due to "Notice of Abandonment or Default of Contract" pursuant to paragraph C-9.08 of the construction contract documents and the Engineer's Certificate stating that sufficient cause exists to justify termination of the construction contract and take actions as are permitted under the terms of the construction contract.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer Horacio De Leon, Parks and Recreation Director
PREVIOUS COUNCIL ACTION: On June 17, 2002, City Council approved to award a construction contract to the lowest bidder Pete Gallegos Paving, Inc., Laredo, Texas, for the Eastwoods Park Project in the negotiated bid amount of \$162,869.50.		
BACKGROUND: The original project consisted of: Phase I of the project was to include site grading, and the construction of a baseball field, soccer field, play ground area with module, irrigation system and landscaping (top soil and hydromulch). The total park area was approximately 4.16 acres. Plans and specifications were prepared by Turner, Hickey & Associates, Laredo, Texas. To date, Pete Gallegos Paving, Inc., has been paid a total of \$146,58250.(or approximately 89%) out of the \$164,369.50 total construction contract amount which includes a change order for \$1,500.00, with a balance of \$17,786.95 remaining on his contract. Even though all items of construction have been completed, the final grading and the quality of top soil and turf coverage or the playing fields have become an issue and are not acceptable to City Staff, and have not been corrected by the contractor. As of date, there is no visible activity at the work site and no schedule submitted to correct the work. Since there has been no response to correct the unacceptable work, the failure to satisfactorily correct rejected work is a substantial violation of the contract documents, and therefore per Section C-9.08 of the contract documents, staff recommends that the process to terminate the construction contract for the Eastwoods Park Project be initiated per provision and same section of the contract documents.		
FINANCIAL IMPACT: N/A.		
COMMITTEE RECOMMENDATION: N/A.		STAFF RECOMMENDATION: Approval of Motion.



**AUTHORIZING THE CITY MANAGER TO INITIATE TERMINATION OF
CONSTRUCTION CONTRACT FOR THE EASTWOODS PARK PROJECT**

CITY COUNCIL MEETING
JANUARY 12, 2004

CITY OF LAREDO
ENGINEERING DEPARTMENT

1110 HOUSTON ST. P.O. BOX 579 PM. 791-7346 FAX (210) 791-7496

AGENDA ITEM

COUNCIL COMMUNICATION

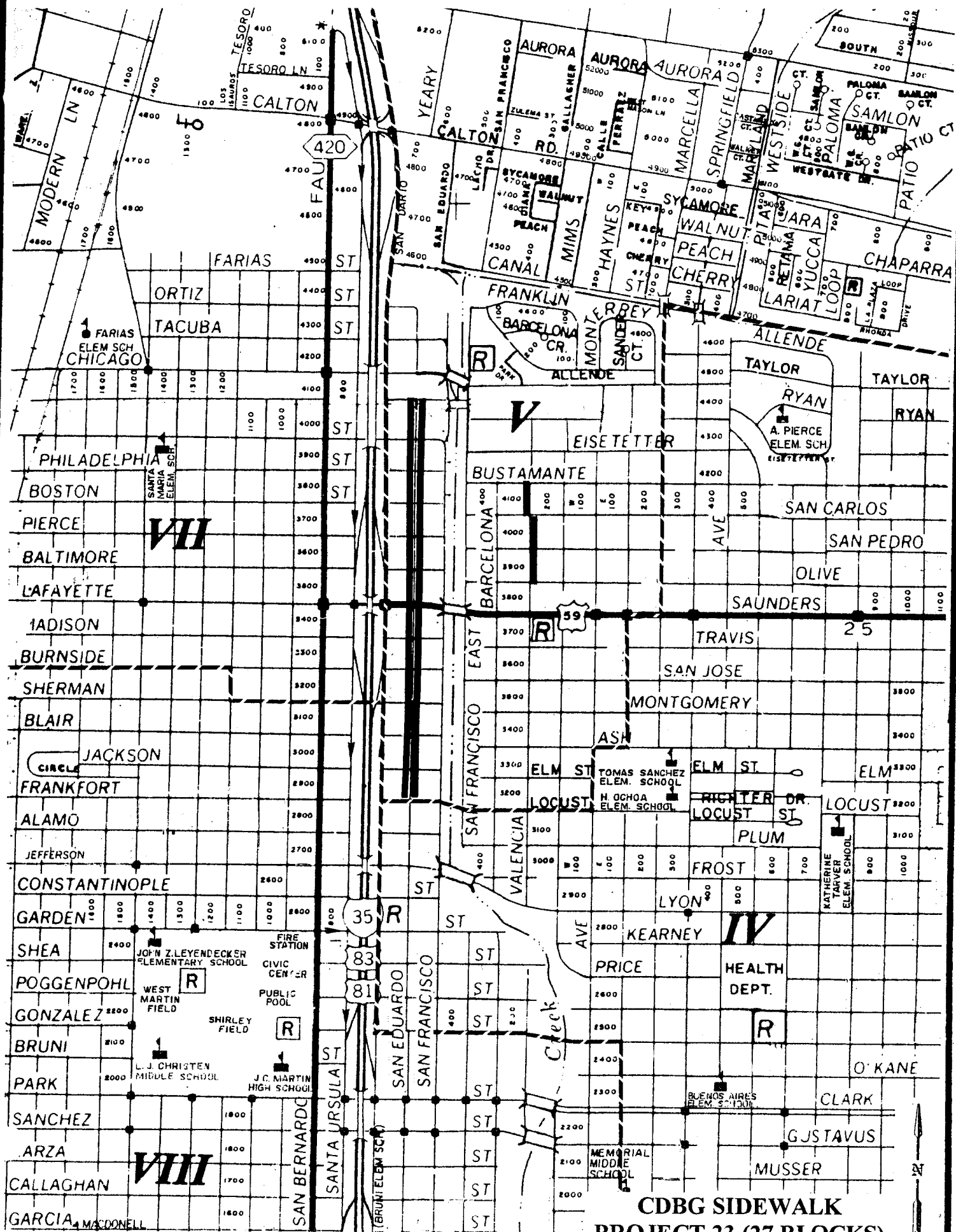
DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration for approval of final change order no. 2 a decrease of \$1,437.50, acceptance of the CDBG Sidewalks City-Wide Project No. 23 (29 Blocks) and approval of final payment in the amount of \$13,445.71 to Triple A Concrete, Inc., Laredo, Texas. Final contract amount is \$107,007.07. Funding is available in the School Sidewalks 28th Action Year/2002 Grant.												
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rogelio Rivera, P.E., City Engineer												
PREVIOUS COUNCIL ACTION: On May 5, 2003 City Council awarded a construction contract to the lowest bidder Triple A Concrete, Inc., Laredo, Texas, in the bid amount of \$97,192.01 for the CDBG Sidewalks City-Wide Project No. 23 (29 Blocks).													
BACKGROUND: The original project consisted of 27 City blocks of ADA accessible sidewalks improvements throughout the City of Laredo. Generally the sidewalks are 4 feet in width with ADA ramps at each street crossing. The project also includes concrete header curbs, retaining walls, driveways and utility adjustments as required. Change Order No. 1 included the 700 and 800 blocks of Bustamante Southside for a new total of 29 blocks. Plans and specifications were prepared by Arcadis, Laredo, Texas. <table style="width: 100%; border: none;"><tr><td style="width: 80%;">Original construction contract amount.....</td><td style="text-align: right;">\$97,192.01</td></tr><tr><td colspan="2">(Awarded by City Council on May 5, 2003)</td></tr><tr><td>Change order no. 1.....</td><td style="text-align: right;">\$11,252.56</td></tr><tr><td colspan="2">(Signed by the City Manager on October 2, 2003)</td></tr><tr><td>This change order no. 2.....</td><td style="text-align: right;"><u>\$(1,437.50)</u></td></tr><tr><td>Final construction contract amount.....</td><td style="text-align: right;">\$107,007.07</td></tr></table> The project was completed within the contract time allotted. <div style="text-align: center; margin-top: 20px;">Continue on Page 2 of 2</div>		Original construction contract amount.....	\$97,192.01	(Awarded by City Council on May 5, 2003)		Change order no. 1.....	\$11,252.56	(Signed by the City Manager on October 2, 2003)		This change order no. 2.....	<u>\$(1,437.50)</u>	Final construction contract amount.....	\$107,007.07
Original construction contract amount.....	\$97,192.01												
(Awarded by City Council on May 5, 2003)													
Change order no. 1.....	\$11,252.56												
(Signed by the City Manager on October 2, 2003)													
This change order no. 2.....	<u>\$(1,437.50)</u>												
Final construction contract amount.....	\$107,007.07												
FINANCIAL IMPACT: Funding is available in the School Sidewalks 28th Action Year/2002 Grant. Account No. 211-8540-535-1331													
COMMITTEE RECOMMENDATION: N/A.	STAFF RECOMMENDATION: Approval of Motion.												

The original list of streets is as follows:

District V

Street Name	From	To	Side	No. of Blocks
Valencia	Olive	San Carlos	East	2
San Eduardo	Pace	Frankfort	East/West	24
Valencia	San Carlos	Bustamante	West	1
Total District V				27 Blocks

Change Order No. 1 included the 700 and 800 blocks of Bustamante Southside for a new total of 29 blocks.



COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration to award a professional services contract to TEC Engineers & Consultants, Inc., Laredo, Texas, in the amount not to exceed \$21,000.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 25 (30 Blocks). Funding is available in the Community Development Project/Sidewalks.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: On December 8, 2003 City Council approved the selection of consultants for the CDBG Sidewalks City-Wide Project (approximately 120 Blocks).		
BACKGROUND: Scope of services include, but are not limited to: Surveys, design, and preparation of plans and specifications for the construction of concrete sidewalks city - wide to City, State and Federal requirements, and in coordination with all utilities. Approximately 15 blocks have been identified from each Council Member District for this project which is funded through Community Development Block Grant Monies. Project No. 25 includes District I (15 Blocks) and District II (15 Blocks). Design work is to be done on a fast track basis, approximately ninety (90) calendar days. <div style="text-align: center;">Continue on Page 2 of 2</div>		
FINANCIAL IMPACT: Funding is available in the Community Development Projects/Sidewalks. Account No. 211-8140-535-1336		
COMMITTEE RECOMMENDATION: N/A.		STAFF RECOMMENDATION: Approval of Motion.

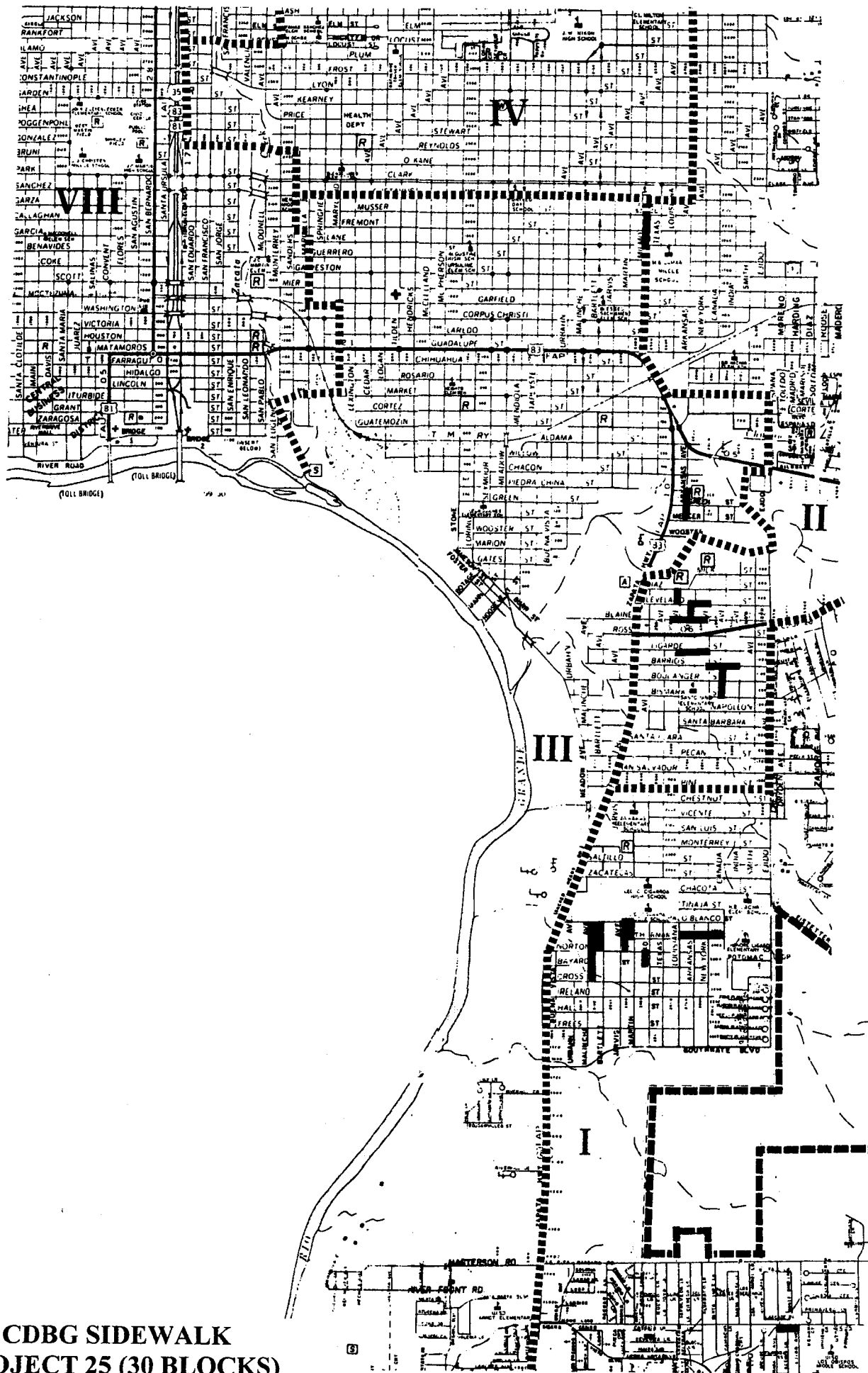
List of streets is as follows:

District I:

Street Name	From	To	Side	No. of Blocks
S. Malinche	Palo Blanco	Cross	East	4
S. Bartlett	Palo Blanco	Norton	West	2
Jarvis	Palo Blanco	Norton	East	2
S. Martin	Palo Blanco	Thurman	West	1
Thurman	S. Canada	Louisiana	North	3
Moon	Ejido	Corrada	South	2
S. Milmo	Norton	Bayard	West	1
			Total Blocks	15 Blocks

District II:

Street Name	From	To	Side	No. of Blocks
Milmo	Lane	Musser	East	2
S. Louisiana	Diaz	Cleveland	East	1
Blaine	S. New York	S. Louisiana	North	2
S. Arkansas	Blaine	Cleveland	East	1
Cleveland	S. New York	S. Arkansas	South	1
Ligarde	Louisiana	S. New York	South	2
Barrios	S. New York	India	South	2
Arkansas	Piedra China	Mercer	West	2
Canada	Barrios	Bismark	West	2
			Total Blocks	15



**CDBG SIDEWALK
PROJECT 25 (30 BLOCKS)**

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration to award a professional services contract to Foster Engineering Company, Laredo, Texas, in the amount not to exceed \$21,000.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 26 (30 Blocks). Funding is available in the Sidewalk 23rd Action Year /1997 Grant.
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: On December 8, 2003 City Council approved the selection of consultants for the CDBG Sidewalks City-Wide Project (approximately 120 Blocks).	
BACKGROUND: Scope of services include, but are not limited to: Surveys, design, and preparation of plans and specifications for the construction of concrete sidewalks city - wide to City, State and Federal requirements, and in coordination with all utilities. Approximately 15 blocks have been identified from each Council Member District for this project which is funded through Community Development Block Grant Monies. Project No. 26 includes District III (15 Blocks) and District IV (15 Blocks). Design work is to be done on a fast track basis, approximately ninety (90) calendar days. <div style="text-align: center; margin-top: 100px;">Continue on Page 2 of 2</div>	
FINANCIAL IMPACT: Funding is available in the Sidewalk 23rd Action Year /1997 Grant. Account No. 211-9740-597-1160	
COMMITTEE RECOMMENDATION: N/A.	STAFF RECOMMENDATION: Approval of Motion.

List of streets is as follows:

District III:

Street Name	From	To	Side	No. of Blocks
Guatemozin	Lexington	Hendricks	North	4
Guatemozin	Jarvis	Milmo	North	2
Cortez	Milmo	Jarvis	South	2
Green	Meadow	Mendiola	North	1
Green	Meadow	Mendiola	South	½
Meadow	Green	Mercer	East	½
Logan	Guatemozin	Cortez	West	1
Cedar	Cortez	Market	West	1
Mier	Springfield	Marcella	South	1
Bismark	Meadow	S. Bartlett	South	2
			Total Blocks	15 Blocks

District IV:

Street Name	From	To	Side	No. of Blocks
Gonzalez	San Francisco	San Eduardo	North	1
San Eduardo	Garden	Poggenpohl	East	2
Kearney	Marcella	Springfield	North/South	2
Cedar	San Jose	Montgomery	East	1
Valencia	W. Plum	Frost	East	1
Barcelona	W. Plum	Frost	East	1
McDonell	Plum	Frost	West	1
Reynolds	Stone	Loring	South	1
Logan	Bustamante	San Carlos	West	1
San Carlos	Logan	Tilden	North	1
McClelland	San Jose	Travis	West	1
W. Plum	McDonell	Monterrey	North	1
Hendricks	Ash	Montgomery	East	1
			Total Blocks	15 Blocks

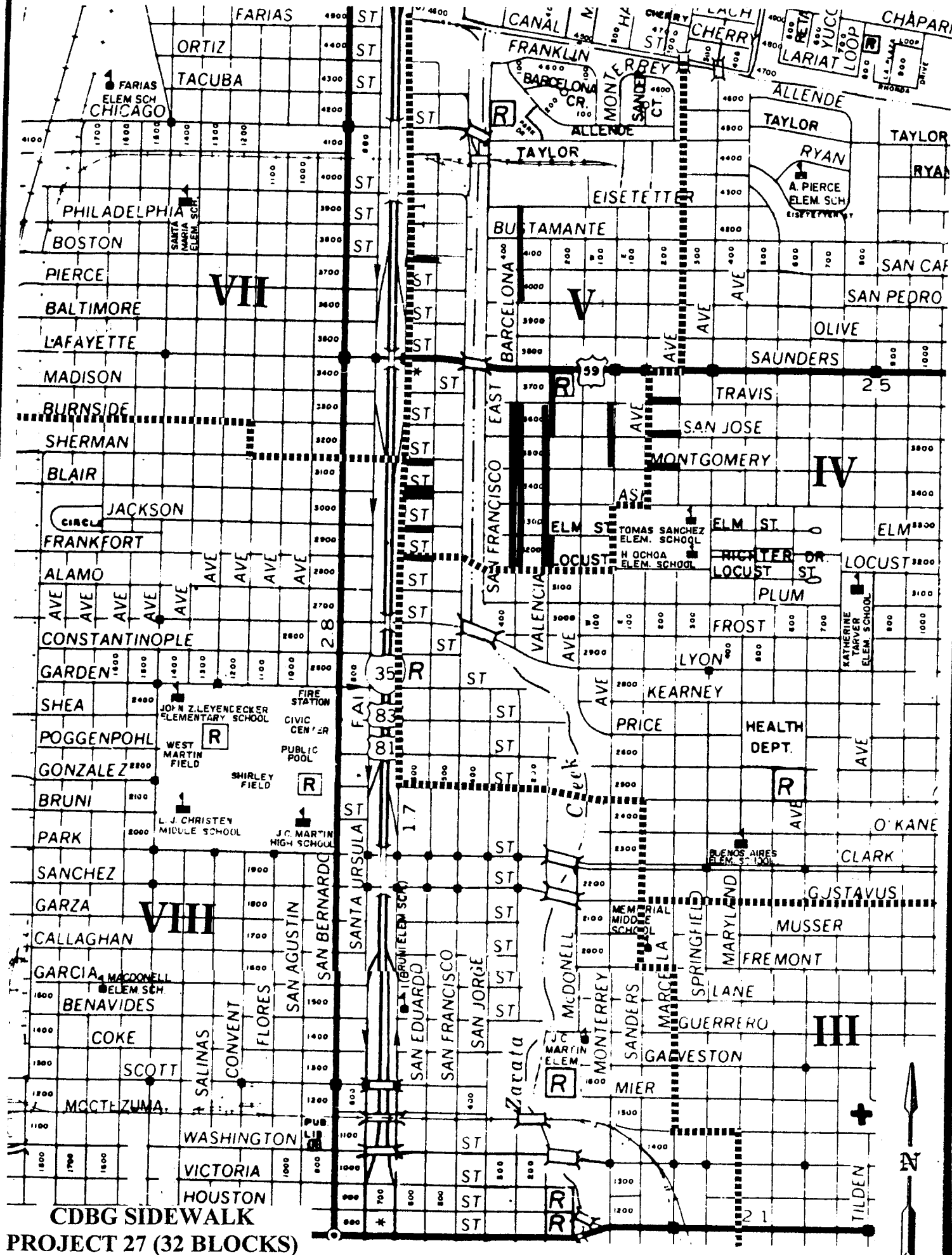
COUNCIL COMMUNICATION

DATE:	SUBJECT: MOTION(S)	
01/12/2004	Consideration to award a professional services contract to Arcadis, Laredo, Texas, in the amount not to exceed \$22,400.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 27 (32 Blocks). Funding is available in the Community Development Projects/Sidewalks.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: On December 8, 2003 City Council approved the selection of consultants for the CDBG Sidewalks City-Wide Project (approximately 120 Blocks).		
BACKGROUND: Scope of services include, but are not limited to: Surveys, design, and preparation of plans and specifications for the construction of concrete sidewalks city - wide to City, State and Federal requirements, and in coordination with all utilities. Approximately 32 blocks have been identified for District V for this project which is funded through Community Development Block Grant Monies. Design work is to be done on a fast track basis, approximately ninety (90) calendar days.		
Continue on Page 2 of 2		
FINANCIAL IMPACT: Funding is available in the Community Development Projects/Sidewalks. Account No. 211-8140-535-1336		
COMMITTEE RECOMMENDATION: N/A.		STAFF RECOMMENDATION: Approval of Motion.

List of streets is as follows:

District V:

Street Name	From	To	Side	No. of Blocks
Frankfurt	San Dario	San Eduardo	South	1
Jackson	San Dario	San Eduardo	South	1
Blair	San Dario	San Eduardo	North/South	2
Sherman	San Dario	San Eduardo	South	1
Barcelona	San Pedro	W. Eistetter	East	3
Monterrey	W. Travis	W. San Jose	West	1
Valencia	Travis	Saunders	East	1
Boston	San Dario	San Eduardo	South	1
Travis	Marcella	Sanders	North	1
San Jose	Marcella	Sanders	North	1
Montgomery	Marcella	Sanders	North	1
Monterrey	W. Montgomery	San Jose	West	1
Barcelona	Locust	Travis	East/West	10
Valencia	Locust	Elm	East/West	2
Valencia	Elm	San Jose	West	3
Valencia	San Jose	Travis	East/West	2
			Total Blocks	32 Blocks



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COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration to award a professional services contract to Howland Surveying Company Laredo, Texas, in the amount not to exceed \$21,000.00 for design and preparation of plans and specifications for the CDBG Sidewalks City-Wide Project No. 28 (30 Blocks). Funding is available in the Sidewalk 23rd Action Year/1997 Grant and Sidewalk 26th Action Year/2000 Grant.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: On December 8, 2003 City Council approved the selection of consultants for the CDBG Sidewalks City-Wide Project (approximately 120 Blocks).		
BACKGROUND: Scope of services include, but are not limited to: Surveys, design, and preparation of plans and specifications for the construction of concrete sidewalks city - wide to City, State and Federal requirements, and in coordination with all utilities. Approximately 15 blocks have been identified from each Council Member District for this project which is funded through Community Development Block Grant Monies. Project No. 28 includes District VII (15 Blocks) and District VIII (15 Blocks). Design work is to be done on a fast track basis, approximately ninety (90) calendar days. <div style="text-align: center;">Continue on Page 2 of 2</div>		
FINANCIAL IMPACT: Funding is available in the: Sidewalk 23rd Action Year/1997 Grant. Account No. 211-9740-597-1160 Sidewalk 26th Action Year/2000 Grant. Account No. 211-8140-535-1336		
COMMITTEE RECOMMENDATION: N/A.		STAFF RECOMMENDATION: Approval of Motion.

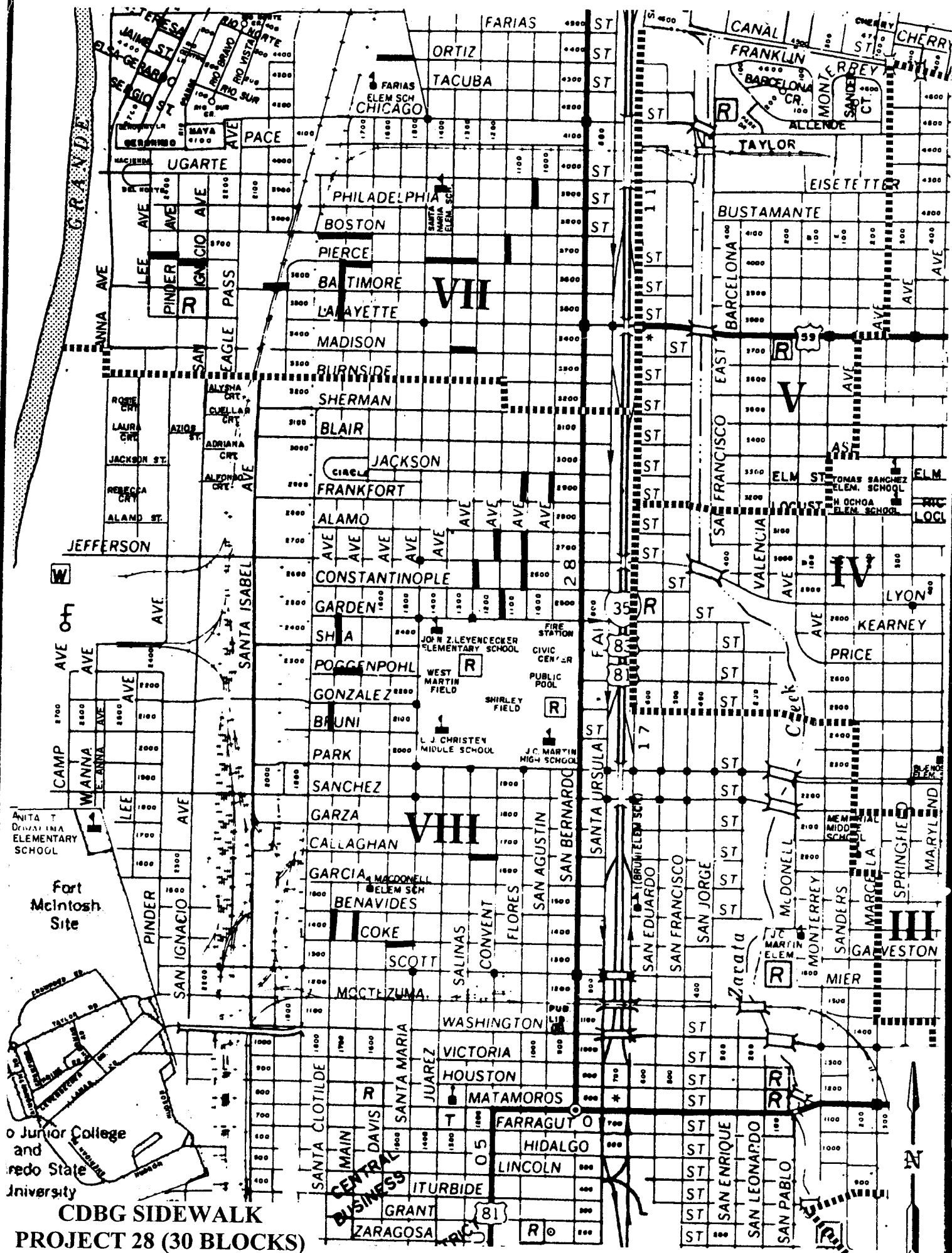
List of streets is as follows:

District VII:

Street Name	From	To	Side	No. of Blocks
Madison	Juarez	Salinas	North	1
Ortiz	Sta. Maria	Rail Line	North	2
Boston	Main	Sta. Rita	South	2
Pierce	Sta. Maria	Salinas	North	2
Convent	Pierce	Boston	East	1
Flores	Philadelphia	Ugarte	East	1
Baltimore	Sta. Isabel	Vidaurre	North	1
Sta. Cleotilde	Lafayette	Pierce	West	2
Pierce	Main	Sta. Cleotilde	South	1
Pierce	Pinder	San Ignacio	South	1
Pierce	Pinder	Lee	North	1
			Total Blocks	15 Blocks

District VIII:

Street Name	From	To	Side	No. of Blocks
Coke	Davis	Sta. Maria	South	1
Main	Coke	Benavides	West	1
Sta. Cleotilde	Benavides	Coke	East	1
Poggenpohl	Sta. Cleotilde	Main	North	1
Sta. Cleotilde	Shea	Garden	East	1
Salinas	Constantinople	Jefferson	East	1
Convent	Garden	Constantinople	East	1
Convent	Jefferson	Alamo	West	1
Flores	Frankfurt	Jackson	West	1
San Agustin	Frankfurt	Jefferson	West	2
Flores	Alamo	Jefferson	West	1
Sta. Cleotilde	Gonzalez	Bruni	West	1
Callaghan	Convent	Salinas	South	1
Flores	Jefferson	Constantinople	West	1
			Total Blocks	15 Blocks



COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: MOTION to amend the 29 th Action Year 2003 Consolidated One Year Action Plan to reprogram a total of \$50,000.00 from the 2003 Community Development Block Grant (CDBG) funds by deleting the Inner City Park Phase II – Irrigation/Landscaping Improvements and creating a public service activity known as the Inner City Technology Instruction Program totaling \$50,000.00				
<table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> INITIATED BY: Cynthia Collazo Assistant City Manager </td> <td style="width: 50%; vertical-align: top;"> STAFF SOURCE: Erasmo A. Villarreal CD Director </td> </tr> </table>		INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Erasmo A. Villarreal CD Director		
INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Erasmo A. Villarreal CD Director				
PREVIOUS COUNCIL ACTION: 12/08/03 – A public hearing was held to allow interested persons an opportunity to comment on the proposed changes in the use of 29 th AY Community Development Block Grant to fund a public service activity known as the Inner City Technology Instruction Program and eliminate funding for the Inner City Park Phase II- Irrigation/Landscaping Improvements project.					
BACKGROUND: A substantial amendment regarding the use of CDBG funds requires that citizens be informed of the proposed changes to the 2003 Consolidated One Year Action Plan and be provided an opportunity to comment on them. The City proposes to add one new project and delete another from this year's action plan. The following project is being recommended as an addition to the 29 th AY 2003 One Year Action Plan. <table style="width: 100%;"> <tr> <td style="width: 80%;"> Inner City Technology Instruction Program </td> <td style="width: 20%; text-align: right;"> \$50,000.00 </td> </tr> </table> This project involves the development of a community outreach program exposing youth to multi-media production to include audio, video, and internet training. The program will also include movie production, interviewing, editing, area reporting, digital photography, and inter-generational programming. Funding will also include employee salary and equipment costs. The following project is being recommended for deletion from the 29 th AY 2003 Consolidated One-Year Action Plan. <table style="width: 100%;"> <tr> <td style="width: 80%;"> Inner City Park – Phase II </td> <td style="width: 20%; text-align: right;"> \$50,000.00 </td> </tr> </table> The City had identified CDBG funds for the cost of installation of an irrigation system and landscaping. However, the original construction budget did have enough funds to undertake this activity; therefore, no additional CDBG funds were necessary for this activity. In adherence with the Citizens Participation Plan, citizens were given 30 days, beginning December 3, 2003 through January 2, 2004 to provide oral and/or written comments. No comments were received.		Inner City Technology Instruction Program	\$50,000.00	Inner City Park – Phase II	\$50,000.00
Inner City Technology Instruction Program	\$50,000.00				
Inner City Park – Phase II	\$50,000.00				
FINANCIAL IMPACT: 29 th AY Community Development Block Grant.....\$50,000.00					
RECOMMENDATION: N/A	STAFF RECOMMENDATION: That this motion be passed.				

COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: MOTION Authorizing the City Manager to (1) amend its 2002 Emergency Shelter Grant (ESG) contract with the Laredo Homeless Coalition by reducing the amount of shelter operation funds by a total \$60,000.00, from \$75,000.00 to \$15,000.00, and (2) to enter into contract and award the \$60,000.00 to Catholic Social Services, Inc. for shelter operations of La Frontera Halfway House. These changes pertain to 2002 Emergency Shelter Grant Funds which are made available by the U.S. Department of Housing and Urban Development		
<table style="width: 100%;"><tr><td style="width: 50%; vertical-align: top;">INITIATED BY: Cynthia Collazo Assistant City Manager</td><td style="width: 50%; vertical-align: top;">STAFF SOURCE: Erasmo A. Villarreal CD Director</td></tr></table>		INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Erasmo A. Villarreal CD Director
INITIATED BY: Cynthia Collazo Assistant City Manager	STAFF SOURCE: Erasmo A. Villarreal CD Director		
PREVIOUS COUNCIL ACTION: 7/15/02 - Council approved the submission of the Consolidated One Year Action Plan for 2002 to HUD that included an application for 2002 Emergency Shelter Grant funds in the amount of \$153,000.00.			
BACKGROUND: As a result of the submission and approval of a Consolidated One Year Action Plan for 2002, the City of Laredo was awarded \$153,000.00 in Emergency Shelter Grant funds by the U.S. Department of Housing and Urban Development. The ESG program required that all funds be committed within 180 days of October 1, 2002 award date and be expended within 24 months, or be recaptured by HUD. The City, through public notice, requested proposals from local homeless service providers for the use of the 2002 ESG funds. The Laredo Homeless Coalition (LHC), a nonprofit organization, expressed an interest in obtaining these funds to rehabilitate and to operate the building located at 815 Hidalgo St. The LHC was awarded \$45,000 in 2002 ESG funds for rehabilitation of the shelter and an additional \$75,000 for operation of the shelter once it had been rehabilitated. During the design phase of the project, the LHC received additional funding from the Bruni Vergara Foundation to expand on the scope of the rehabilitation. A new design was needed which set back the completion date for the rehab by several months. Because the LHC felt that they would no longer be able to expend all the operational funds within their contract deadline of June 1, 2004, the LHC submitted a request to reduce the amount of their operational funding from \$75,000 to \$15,000. Background Continued on page 2			
FINANCIAL IMPACT: 2002 Emergency Shelter Grant / Act.#: 219-8552-563-5566.....\$60,000.00			
RECOMMENDATION: N/A	STAFF RECOMMENDATION: That the City Manager be authorized amend its 2002 ESG shelter operation contract with the LHC by reducing it by \$60,000.00 and to enter into contract with CSS in the amount of \$60,000.00 for operation of La Frontera Halfway House with 2002 ESG funds provided by HUD.		

COUNCIL COMMUNICATION

Background continued from page 1.

In order to prevent recapture of the \$60,000.00 by HUD, the City requested proposals for use of these funds from other service providers. Only one qualifying proposal was received from Catholic Social Services of Laredo, Inc. CSS proposes to utilize the operational funds for the costs associated with maintenance, rent, repairs, security, fuel, equipment, insurance, utilities, food, and furnishings for La Frontera Halfway House and is willing to provide the in-kind match.

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COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration for approval of a consultant to perform asbestos material investigations for city owned commercial and residential structures for FY 2003-2004 and authorization to negotiate a professional services contract. Funding is available in the Improvements Other Than Buildings.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: None.		
BACKGROUND: Five (5) firms responded to the request for qualifications on Friday, December 12, 2003, at 4:00 P.M. as follows: <ol style="list-style-type: none">1. Team Integrated Engineering, Inc., Brooks City-Base, Texas2. Mactec Engineering and Consulting, Austin, Texas3. Drash Consulting Engineers, Inc., Laredo, Texas4. Clean Environments, Inc., San Antonio, Texas5. O'Connor Engineering & Science, Inc., Laredo, Texas Scope of services include but are not limited to: <ol style="list-style-type: none">1. Asbestos Surveying;2. Report on the findings and recommendations;3. Develop abatement work plan, if applicable;4. Project Monitoring, as required, during the abatement process;5. Final Report Preparation. All work related to the project will be provided by a duly licensed asbestos consultant and in conformance with all applicable municipal, state, and federal guidelines and regulations, and in close coordination with the Texas Department of Health. The Staff Committee composed of several City Departments evaluated the submittals and presentations, and based on the City's standard selection criteria (capability to perform, professional background, quality of projects, etc.). The consultant's name will be announced at the City Council Meeting.		
FINANCIAL IMPACT: Funding is available in the Improvements Other Than Buildings. Account No. 251-2620-525-9301		
COMMITTEE RECOMMENDATION:. N/A.		STAFF RECOMMENDATION: Approval of Motion.

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration for approval of the selection of consultant for the Chacon Creek Hike and Bike Trail Phase II and authorization to negotiate a professional services contract. Funding is available in the Capital Improvement Fund Chacon Creek Hike and Bike Trail.
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: None.	
BACKGROUND: Four (4) firms responded to the request for qualifications on Friday, November 21, 2003, at 4:00 P.M. as follows: <ol style="list-style-type: none">1. Howland Surveying Company, Inc., D.B.A. The Howland Companies, Laredo, Texas2. Land Design Partners, Austin, Texas3. Harry Jewett Associates, Inc., Laredo, Texas4. Arcadis, Laredo, Texas The proposed scope of services is to include, but not limited to, the design of the Chacon Creek Hike and Bike Trail Phase II, approximately 5,500 linear feet of natural trail with added amenities such as benches, interpretive and regulatory signage, bridge crossings, trash receptacles, ADA access points, and post and cable to complement phase I of the trail project; and design ADA compatible approaches to the Chacon Creek Hike & Bike Trail Phase I for added accessibility to trail amenities, and to complement current trail development. The project design will be closely coordinated with the Engineering, Environmental, and Parks and Recreation Department staff and be in compliance with all Federal, State, and Municipal requirements. Funding provided through a Texas Parks and Wildlife Grant with a matching City share. The Staff Committee composed of several City Departments evaluated the submittals and presentations, and based on the City's standard selection criteria (capability to perform, professional background, quality of projects, etc.). The consultant's name will be announced at the City Council Meeting.	
FINANCIAL IMPACT: Funding is available in the Capital Improvement Fund Chacon Creek Hike and Bike Trail. Account No. 402-4322-535-4178	
COMMITTEE RECOMMENDATION: N/A.	STAFF RECOMMENDATION: Approval of Motion.

COUNCIL COMMUNICATION

01/12/04	MOTION: Authorizing the City Manager to sign an inter-local agreement with International Boundary and Water Commission (IBWC) to collect quarterly Water Quality samples from Manadas Creek for the Clean River Program (CRP) for the period of September 1, 2003 through August 31, 2005. IBWC is under contract with Texas Commission on Environmental Quality (TCEQ) and is responsible for collecting the water quality data from seventy two monitoring stations along the Rio Grande River. Under the agreement, the Environmental Services will collect eight (8) water quality samples and sent to the IBWC contract lab, so there will be no cost for sample analysis except for the manpower to collect the samples.	
Initiated By: Larry Dovalina City Manager		Staff Source: Riazul Mia, P.E., Director Environmental Services Department
Previous Council Action: None.		
Background: The Clean River Program for the Rio Grande/Rio Bravo Basin is currently being administered by the Environmental Management Division of the International Boundary and Water Commission (IBWC). The U.S. Agencies participating with IBWC in the study are the Texas Commission on Environmental Quality (TCEQ), U.S. Environmental Protection Agency. The Mexican participates includes the National Water Commission (CNA), State Secretariat of Urban Development and Ecology (SEDUE), and Municipal Commission on Potable Water and Sewage (COMAPA). There are seventy two monitoring stations along the Rio Grande River. The Environmental Services Department will collect quarterly sample from Manadas Creek at FM 1472 Bridge and sent to the IBWC contract lab. The samples will be analyzed for conventional, bacterial, metals in water and metals in sediment.		
Financial Impact: None		
Committee Recommendation: N/A		Staff Recommendation: Approval of the motion

COUNCIL COMMUNICATION

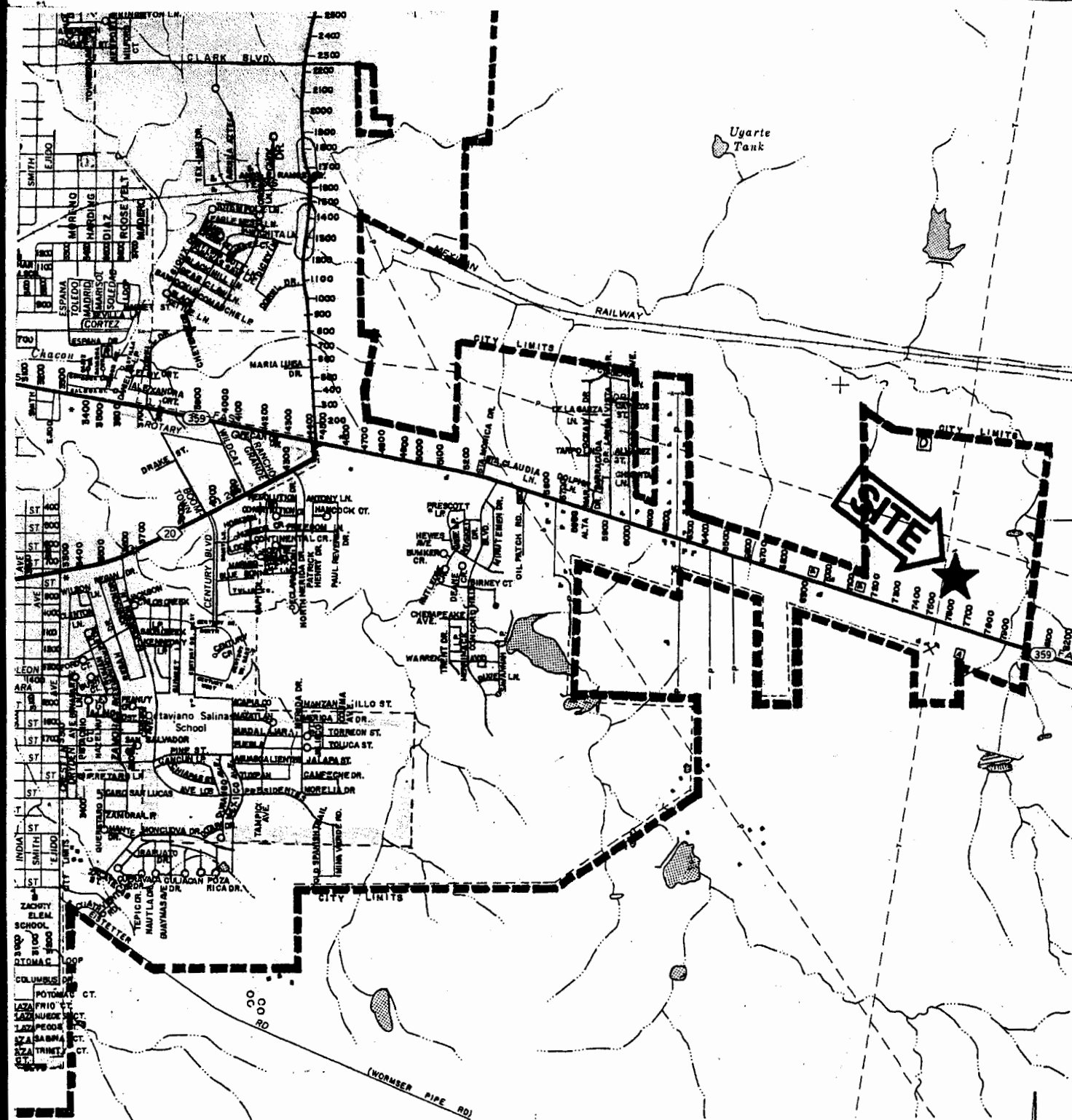
DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration to award a construction contract to the lowest bidder SCS Field Services, Long Beach, California, for the Construction of a Landfill Gas Collection System Expansion at the City of Laredo Landfill in the bid amount of \$95,314.60. Funding is available in the Solid Waste Fund.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer Oscar J. Medina, Director
PREVIOUS COUNCIL ACTION: None.		
BACKGROUND: The City submitted a work plan to the Texas Commission on Environmental Quality (TCEQ) as a landfill permit modification on June 6, 2003. The plan shows the preferred option to mitigate the off-site migration of methane gas, which includes installation of nine new landfill gas extraction wells to the ten existing wells along the north side of the landfill. The TCEQ approved the permit modification on August 8, 2003. The City's consultant, SCS Engineers of Phoenix, Arizona, prepared the plans and specifications for bidding purposes. The project consists of the following elements: <ul style="list-style-type: none">• Installation of nine new horizontal HDPE gas collection wells;• Installation of associated below-grade laterals and header lines;• Tie-ins to existing headers;• Installation of control valves and;• Installation of a new air compressor system with associated protective cover for the condensate sump pump The landfill gas collection system described above will be installed in accordance with all applicable U.S. Environmental Protection Agency and Texas Commission on Environmental Quality regulations. Plans and specifications were prepared by SCS Engineers, Phoenix Arizona. Continue on Page 2 of 2		
FINANCIAL IMPACT: Funding is available in the Solid Waste Fund. Account No. 556-2560-533-5500		
COMMITTEE RECOMMENDATION: N/A.		STAFF RECOMMENDATION: Approval of Motion.

Two (2) bids were received and opened at the City Secretary's Office on Monday, December 22, 2003, at 4:00 P.M. as follows:

Contractor	Base Bid
SCS Field Services Long Beach, California	\$95,314.60
Tri-Con Works, L.P. Houston, Texas	\$108,327.00

The bid and bid bonds were checked and found to be in order. Staff therefore concurs with consultant and recommends award in the bid amount of \$95,314.60 to SCS Field Services, Long Beach, California.

Contract time is forty-five (45) calendar days after notice to proceed is issued.



**CONSIDERATION TO AWARD A CONSTRUCTION CONTRACT TO THE
LOWEST BIDDER FOR THE CONSTRUCTION OF A LANDFILL GAS
COLLECTION SYSTEM EXPANSION AT THE CITY OF LAREDO LANDFILL**

CITY COUNCIL MEETING
JANUARY 12, 2004

CITY OF LAREDO
ENGINEERING DEPARTMENT
1110 HOLSTON ST. P.O. BOX 579 PH. 791-7346 FAX (710) 791-7496

AGENDA ITEM

COUNCIL COMMUNICATION

DATE: January 12, 2004	SUBJECT: Motion Motion to approve seventeen contracts payable from the hotel/motel tax fund. These contracts are for fiscal year 2004 and total \$441,170.00. The contracts are listed as follows: <table><tr><td>Laredo Chamber of Commerce – Cola Blanca</td><td>\$ 10,000.00</td></tr><tr><td>LULAC #7</td><td>\$ 5,000.00</td></tr><tr><td>LULAC #12</td><td>\$ 5,000.00</td></tr><tr><td>Society of Martha Washington</td><td>\$ 9,000.00</td></tr><tr><td>Washington’s Birthday Celebration Association</td><td>\$ 19,000.00</td></tr><tr><td>Washington’s B-Day Celebration Museum</td><td>\$ 9,000.00</td></tr><tr><td>Laredo Children’s Museum</td><td>\$ 49,000.00</td></tr><tr><td>Webb County Heritage Foundation</td><td>\$ 49,000.00</td></tr><tr><td>Laredo Center for the Arts</td><td>\$130,360.00</td></tr><tr><td>Laredo Little Theater</td><td>\$ 27,758.00</td></tr><tr><td>Latin American Sports Hall of Fame</td><td>\$ 4,000.00</td></tr><tr><td>L.C.C. Dance/Music Community Productions</td><td>\$ 31,815.00</td></tr><tr><td>Laredo Philharmonic Chorale</td><td>\$ 2,340.00</td></tr><tr><td>Laredo Philharmonic Orchestra</td><td>\$ 37,897.00</td></tr><tr><td>T.A.M.I.U. Dance Productions</td><td>\$ 9,000.00</td></tr><tr><td>Border Olympics</td><td>\$ 25,000.00</td></tr><tr><td>Streets of Laredo Urban Mall</td><td>\$ 9,000.00</td></tr><tr><td>Mexican Cultural Institute of Laredo</td><td>\$ 9,000.00</td></tr></table>	Laredo Chamber of Commerce – Cola Blanca	\$ 10,000.00	LULAC #7	\$ 5,000.00	LULAC #12	\$ 5,000.00	Society of Martha Washington	\$ 9,000.00	Washington’s Birthday Celebration Association	\$ 19,000.00	Washington’s B-Day Celebration Museum	\$ 9,000.00	Laredo Children’s Museum	\$ 49,000.00	Webb County Heritage Foundation	\$ 49,000.00	Laredo Center for the Arts	\$130,360.00	Laredo Little Theater	\$ 27,758.00	Latin American Sports Hall of Fame	\$ 4,000.00	L.C.C. Dance/Music Community Productions	\$ 31,815.00	Laredo Philharmonic Chorale	\$ 2,340.00	Laredo Philharmonic Orchestra	\$ 37,897.00	T.A.M.I.U. Dance Productions	\$ 9,000.00	Border Olympics	\$ 25,000.00	Streets of Laredo Urban Mall	\$ 9,000.00	Mexican Cultural Institute of Laredo	\$ 9,000.00
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INITIATED BY: Larry Dovalina City Manager	STAFF SOURCE: Homero Vazquez-Garcia, Coordinator Nonprofit Management and Volunteer Center																																				
PREVIOUS COUNCIL ACTION: Appropriations approved during Special City Council meeting to adopt the FY 2003-2004 budget.																																					
BACKGROUND: Data was requested from the agencies in order to prepare the contracts. Performance standards, goals, and objectives, financial statements, bylaws, articles of incorporation, purchasing policies, insurance, etc., were submitted or already on file. All information regarding this contract was submitted to the City’s Secretary’s Office and filed at the Nonprofit Management and Volunteer Center.																																					

FINANCIAL:

The contracts total \$441,170.00 and the source of revenues is the hotel/motel tax occupancy fund, and the following are the relevant account numbers.

Chamber of Comm	244-4920-553-5407
LULAC #7	244-4920-553-5406
Society of Martha Wash	244-4920-553-5403
W.B.C.A.	244-4920-553-5408
Laredo Child Museum	244-4930-553-5419
LC4A	244-4930-553-5421
Laredo Phil. Chorale	244-4930-553-5429
Laredo Philharmonic	244-4930-553-5413
T.A.M.I.U.	244-4930-553-5426

Border Olympics	244-4920-553-5404
LULAC #12	244-4920-553-5402
Streets of Laredo	244-4920-553-5472
WBCA Museum	244-4930-553-5473
W.C.H.F.	244-4930-553-5416
L.C.C. Comm Prod	244-4930-553-5428
Laredo Little Theater	244-4930-553-5412
Latin Sports Hall Fame	244-4920-553-5405
Mexican Cultural Institute	244-4930-553-5474

RECOMMENDATION:

The Third Party Funding Advisory Committee recommends approval.

STAFF:

To approve all eighteen contracts and authorize the City Manager to sign and implement them.

COUNCIL COMMUNICATIONS

DATE: 1/12/04	SUBJECT: MOTION Approving monthly adjustments to the tax roll. The amount to be adjusted for month of November and December 2003, represents an increase of \$245,549.95. These adjustments are determined by Webb County Appraisal District and/or by court orders.	
INITIATED BY: CYNTHIA COLLAZO, ASSISTANT CITY MANAGER		STAFF SOURCE ELIZABETH MARTINEZ TAX ASSESSOR-COLLECTOR
PREVIOUS COUNCIL ACTION: Approves tax roll each year.		
BACKGROUND: Under Section 26.09, Calculation of Tax, paragraph (e) of the Texas Property Tax Code, "the Assessor shall enter the amount of tax determined as provided by this section in the appraisal roll and submit it to the governing body of the unit for approval. The appraisal roll with amount of tax entered as approved by the governing body constitutes the unit's tax roll." This point was brought up by an opponent in a tax lawsuit. It was the recommendation of the City Attorney and the Tax Collections Attorney, that adjustments be approved each month, in addition to the tax roll being accepted with adjustments.		
FINANCIAL: Potential revenues will increase due to an increase in levy in the amount of \$245,549.95.		
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: Approval

COUNCIL COMMUNICATIONS

DATE: 1/12/04	SUBJECT: MOTION Refund of property tax to the following taxpayers and companies: 1. A refund in the amount of \$508.14 payable to Ricardo Rodriguez, due to an over payment by the Mortgage Co. Account #938-80001-060. 2. A refund in the amount of \$709.64 payable to Michael Brock, due to a double payment by the Mortgage Company. Account #938-50001-140. 3. A refund in the amount of \$1,086.47 payable to Wells Fargo Real Est. Tax SVCS, LLC, due to an erroneous payment by the Mortgage Company. Account #989-10002-180. 4. A refund in the amount of \$1,104.67 payable to Eduardo Diaz Realty Inc., due to an over payment by the taxpayer. Account #972-90004-060. 5. A refund in the amount of \$956.09 payable to Falcon National Bank, due to an over payment by the bank. Account #933-00001-030. 6. A refund in the amount of \$618.33 payable to Falcon National Bank, due to an over payment by the bank. Account #103-00120-100. 7. A refund in the amount of \$685.72 payable to Columbus Energy Corporation, due to a Webb County Appraisal District change of value certified by the Appraisal Review Board for property that did not exist. Account #801-03023-135. 8. A refund in the amount of \$578.90 payable to Robert Ray and Amy Isabel Marshall, due to a Webb County Appraisal District change of value certified by the Webb County Appraisal Review Board for split property. Account #900-90221-214.	
INITIATED	STAFF SOURCE	
CYNTHIA COLLAZO, ASSISTANT CITY MANAGER	ELIZABETH MARTINEZ TAX ASSESSOR-COLLECTOR	
PREVIOUS COUNCIL ACTION: City Council has previously approved requests for refunds over \$500.00 as required by State Law.		
BACKGROUND: Every month the Webb County Appraisal District submits to the City of Laredo changes of values certified by the WCAD Review Board. Some of these changes require tax refunds be issued due to clerical errors, double assessments, over assessments, over 65 exemptions, did not exist on the 1st of the year, exempt property and combined properties. As per section 26.15 (f) of the Texas Property Tax Code "If a correction decreases the tax liability of a property owner after he has paid the tax, the taxing unit shall refund to the property owner the difference between the tax paid and the tax legally due. As per Section 31.11 of the Texas Property Tax Code "an application for a refund must be made within three years after the date of the payment, or the taxpayer waives the right to a refund." A taxpayer may request a refund if an overpayment or an erroneous payment was made. As per Section 42.43 of the Texas Property Tax Code, Refund. (a) If the final determination of an appeal that decreases a property owner's tax liability occurs after the property owner has paid his taxes, the taxing unit shall refund to the property owner the difference between		
FINANCIAL: The City of Laredo will refund an amount of \$6,247.96. It will be paid from line item Revenue/Unapplied Payments. Account #101-0000-222-0300.		
COMMITTEE RECOMMENDATION:		STAFF: Approval of this refund as detailed above.

COUNCIL COMMUNICATION

DATE: 1/12/04	SUBJECT: MOTIONS Consideration to award contract number FY04-026, to the LOW BIDDER , JJJ Int'l Safety Equipment, Laredo, Texas, in the estimated annual amount of \$24,601.35, for the purchase of thirty different types of traffic signs. These signs which will be used to replace damaged or faded signs. The bid pricing will be firm for one year. Funding is available in the Traffic Safety budget.																					
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Roberto Murillo, Traffic Safety Director Francisco Meza, Purchasing Agent																				
PREVIOUS COUNCIL ACTION: None.																						
BACKGROUND: The City received eight bids for the purchase of thirty, different completed traffic signs. These signs will be used throughout the year to replace damaged or faded signs. The bid pricing will be firm for one year from date of bid award allowing the department to purchase signs on an as need basis. Delivery is expected within thirty to forty-five days after receipt of order.																						
Bid Summary																						
<table border="1"><thead><tr><th></th><th>Total Price</th></tr></thead><tbody><tr><td>JJJ Int'l Safety Equipment</td><td>\$24,601.35</td></tr><tr><td>Custom Products Corp.</td><td>\$25,652.00</td></tr><tr><td>Osburn Associates, Inc.</td><td>\$28,356.70</td></tr><tr><td>Hall Signs Inc.</td><td>\$31,838.25</td></tr><tr><td>Lyle Signs, Inc.</td><td>\$31,843.20</td></tr><tr><td>Pathmark Traffic Products</td><td>\$36,010.15</td></tr><tr><td>Centerline Supply, Ltd.</td><td>\$48,421.50</td></tr><tr><td>Rocal Inc.</td><td>\$52,817.20</td></tr><tr><td>Blue Sky Remediation</td><td>\$64,518.50</td></tr></tbody></table>				Total Price	JJJ Int'l Safety Equipment	\$24,601.35	Custom Products Corp.	\$25,652.00	Osburn Associates, Inc.	\$28,356.70	Hall Signs Inc.	\$31,838.25	Lyle Signs, Inc.	\$31,843.20	Pathmark Traffic Products	\$36,010.15	Centerline Supply, Ltd.	\$48,421.50	Rocal Inc.	\$52,817.20	Blue Sky Remediation	\$64,518.50
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FINANCIAL IMPACT: Funds for the purchase of this items are available in the following line item budget: Traffic Safety Department – Materials to make repairs to street signs Account Number: 101-2610-522-3040																						
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: It is recommended that this contract be approved.																				

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: MOTION Consideration to award contract number FY04-024, to the LOW BIDDER, Al & Rob Sales, Laredo, Texas, in the estimated amount of \$54,582.55 for the purchase of uniforms of the Bridge Department personnel. The contract pricing is approximately 2% less than the previous contract amount. The uniforms will be delivered thirty days after measurements have been completed. Funding is available in the Bridge Fund.																																										
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rafael Garcia, Jr. Bridge Director Francisco Meza, Purchasing Agent																																										
PREVIOUS COUNCIL ACTION: None																																											
BACKGROUND: The City received three bids for the purchase of uniforms for the Bridge System personnel. Bids were solicited for short and long sleeve shirts, shorts and trousers. <table style="width: 100%; margin-top: 10px;"> <thead> <tr> <th></th> <th style="text-align: center;">Al & Rob Sales</th> <th style="text-align: center;">Sterling's Safety</th> </tr> </thead> <tbody> <tr> <td style="text-align: left;">Description</td> <td style="text-align: center;">Qty.</td> <td style="text-align: center;">Unit Price</td> </tr> <tr> <td style="text-align: left;">Unit</td> <td style="text-align: center;">Unit Price</td> <td style="text-align: center;">Unit</td> </tr> <tr> <td>L/S Blouses White</td> <td style="text-align: center;">14</td> <td style="text-align: center;">\$27.95</td> </tr> <tr> <td>S/S Blouses White</td> <td style="text-align: center;">35</td> <td style="text-align: center;">\$25.50</td> </tr> <tr> <td>L/S Shirts White</td> <td style="text-align: center;">34</td> <td style="text-align: center;">\$27.95</td> </tr> <tr> <td>S/S Shirts White</td> <td style="text-align: center;">90</td> <td style="text-align: center;">\$25.50</td> </tr> <tr> <td>L/S Blouses French Blue</td> <td style="text-align: center;">50</td> <td style="text-align: center;">\$29.95</td> </tr> <tr> <td>S/S Blouses French Blue</td> <td style="text-align: center;">155</td> <td style="text-align: center;">\$26.95</td> </tr> <tr> <td>L/S Shirts Fr. Blue</td> <td style="text-align: center;">226</td> <td style="text-align: center;">\$29.95</td> </tr> <tr> <td>S/S Shirts Fr. Blue</td> <td style="text-align: center;">665</td> <td style="text-align: center;">\$26.50</td> </tr> <tr> <td>Trousers</td> <td style="text-align: center;">615</td> <td style="text-align: center;">\$32.50</td> </tr> <tr> <td>Sewing of City Bridge Patches on Shirts</td> <td style="text-align: center;">1096</td> <td style="text-align: center;">\$ 0.00</td> </tr> <tr> <td>GRAND TOTAL</td> <td></td> <td style="text-align: center;">\$54,582.55</td> </tr> </tbody> </table>			Al & Rob Sales	Sterling's Safety	Description	Qty.	Unit Price	Unit	Unit Price	Unit	L/S Blouses White	14	\$27.95	S/S Blouses White	35	\$25.50	L/S Shirts White	34	\$27.95	S/S Shirts White	90	\$25.50	L/S Blouses French Blue	50	\$29.95	S/S Blouses French Blue	155	\$26.95	L/S Shirts Fr. Blue	226	\$29.95	S/S Shirts Fr. Blue	665	\$26.50	Trousers	615	\$32.50	Sewing of City Bridge Patches on Shirts	1096	\$ 0.00	GRAND TOTAL		\$54,582.55
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FINANCIAL IMPACT: Funding will be available in the Bridge Fund Acct. #'s 553-4010-532-0800, 553-4012-532-0800, 553-4015-532-0800 and 553-4061-582-0800.																																											
COMMITTEE RECOMMENDATION:	STAFF RECOMMENDATION: It is recommended that this action be authorized.																																										

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COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: MOTIONS Consideration to ratify the emergency purchase of 42" wastewater pipe from Hobas Pipe USA Inc., Houston, Texas, in the amount of \$46,096.60. This pipe will be used to repair the Zacate Wastewater Treatment Plant influent raw wastewater line which sustained a major failure on October 13, 2003. The City Manager has authorized the emergency purchase of this pipe to facilitate the necessary repairs. Funding is available in Utilities Department – Wastewater Construction Project budget.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Beto Ramirez, Utilities Department Director Francisco Meza, Purchasing Agent
PREVIOUS COUNCIL ACTION: None.		
<p>BACKGROUND: On October 13, 2003 the Zacate Creek Wastewater Treatment plant sustained a major failure with one of its influent raw wastewater lines. The failure of this 42" line made it necessary to temporarily re-route the waste water back to the plant. The Utilities Department solicited emergency bids on the developed specifications and drawings that detailed the necessary repairs. In an effort to facilitate the necessary repairs the City is purchasing the necessary 42" wastewater pipe and under a separate contract Grant Brothers L.L.C. will complete the necessary repairs. The Texas Commission on Environmental Quality has been kept abreast of the actions toward the permanent repair of this damaged line.</p> <p>Hobas Pipe USA, Inc. Houston, Texas</p> <p>460 Linear Feet \$100.21 LF \$46,096.60</p>		
<p>FINANCIAL IMPACT: Funding is available in Utilities Department – Wastewater Construction Project budget. Account Number: 559-4240-538-0275</p>		
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: It is recommended that this action be ratified.

COUNCIL COMMUNICATION

DATE: 01/12/04	MOTION: Ratify and approve action taken by the City Manager on December 5, 2003 to authorize an emergency contract to Grant Brothers, L.L.C. in the amount of \$579,193.00 for the repair of the collapsed 42" raw wastewater line into the Zacate Creek Wastewater Treatment Plant.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Heberto L. Ramirez, Utilities Director
PREVIOUS COUNCIL ACTION: None		
BACKGROUND: October 13, 2003 the Zacate Creek Wastewater Treatment Plant sustained a major failure with one of its influent raw wastewater lines. In the process of this line failure other electrical and pumping conveyance was severely damaged. The failure of this 42" line made it necessary to bypass treatment of approximately 40% of the plants raw wastewater stream to prevent more extensive damage to the plants process. Today we are still temporarily re-routing the wastewater back into the plant while the method and schedule of repairing the 42" line and all its associated damages is being determined. As it was understood the repair of the plant would require emergency procurement above the conventional routes of contracting the construction of this repair. We contacted local contractors immediately after the plants failure, but different methods of repair as well as cost estimates that were not consistent with each other pressed us into determining the best option would be to develop some basic specifications and drawings that detailed the need in the repair. Consulting engineers were instructed to provide such specifications in our attempt to formalize the repair method best determined by staff, United Water, and Consulting Engineers.		
FINANCIAL IMPACT: The cost for repair of these motors have been funded from the 1994 Bond Sewer Plant Improvements 559-4273-538-0275 and the 1998 Bond Sewer Plant Improvements 559-4275-538-0275.		
COMMITTEE RECOMMENDATION: N/A		STAFF RECOMMENDATION: Recommend approve the motion

BACKGROUND CONTINUED

While still trying to finalize this repair as an emergency basis we have solicited bids on the developed specifications and drawings from recommended local and out of town contractors. We have received two bids to the completion of this repair as follows. Although four out of town contractors were approached they felt they could not provide a competitive bid and therefore did not submit.

Lowest Bid:	Grant Brothers, L.L.C.	\$579,193.00
Second Bid:	Price Construction, Ltd.	\$604,000.00

The specifications have been established to provide for a bid bond , and the consulting engineer has confirmed the qualifications of both bids.

Upon approval, we proceeded by authorizing the contractor and executing the contract. Currently the project has reached substantial completion and we are receiving wastewater into the plant through the newly repair pipe. The contractor is finalizing the electrical repairs and re-grading the plants grounds. The contractor is expected to be completed and out of the site by January 16, 2003.

COUNCIL COMMUNICATION

DATE: 1/12/04	SUBJECT: MOTION To select the firm Ferris and Flinn Engineering of Harlingen, Texas to update the Capital Improvements Program for Calculation of the Impact Fees. This project consist of updating the CIP, providing a hydraulic model of the water system, wastewater model and a master plan for both water and wastewater improvements
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Heberto Ramirez, Utilities Director
PREVIOUS COUNCIL ACTION: None	
BACKGROUND: The City of Laredo Water Utilities Department has undertaken a project to adequately manage the water and wastewater improvements in the City of Laredo based on its rapid growth. The City of Laredo Utilities Department deems it necessary to update the Capital Improvements Program to reflect the recently constructed projects and the impact of growth on certain areas. The latest CIP report was completed in 1998. This project consist of updating the CIP, providing a hydraulic model of the water system, a wastewater model and a master plan for both water and wastewater improvements. The CIP is considered an overall planning tool as well as the basis to implement an impact fee ordinance.	
FINANCIAL IMPACT: Funding is available in the 1998 Sewer Bond Impact Fees Account 559-4275-538-1051 and 1993 Water Bond Impact Fees Account 557-4193-538-1051.	
COMMITTEE RECOMMENDATION: N/A	STAFF RECOMMENDATION: To approve motion.

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: MOTIONS Consideration to award contract FY04-023 to the sole bidder, G. H Construction, Inc., dba G.H. Pools, Laredo, Texas, in the amount of \$49,558.00 for the rehabilitation of the Del Mar swimming pool. The scope of work includes removing and installing new borders, coping, wall steps, lane anchors, and depth markers along with the re-plastering of the whole pool. Funding is available in the Capital Improvement Project budget.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Horacio De Leon, Parks and Recreation Dept. Director Francisco Meza, Purchasing Agent
PREVIOUS COUNCIL ACTION: None.		
<p>BACKGROUND: The City received a sole bid for the repair and re-plastering of the Del Mar swimming pool. The scope of work includes removing and installing new borders, coping, wall steps, lane anchors, and depth markers along with the re-plastering of the whole pool. The plumbing lines will be pressure checked before the re-plastering is started. Bid notices were sent to eight potential bidders. All work will be supervised by the Parts and Recreation Department aquatics supervisor.</p> <p>Bid Summary G. H. Pools \$49,558.00 Laredo, Texas</p>		
<p>FINANCIAL IMPACT: Funding is available in the Capital Improvement Project fund. CIP – Construction Projects, Del Mar Pool Rehab Account Number: 402-4323-535-4210</p>		
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: It is recommended that this contract be approved.

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COUNCIL COMMUNICATION

DATE: 1/12/04	SUBJECT: MOTIONS Consideration to award of supply contract number FY04-027 to the following LOW BIDDERS: <u>Libcon Inc. DBA Leyendecker Materials</u> , Laredo, Texas in the estimated amount of \$1,102,500.00, for the purchase of asphalt, black base, flexible base, sand, and gravel; <u>City Ready Mix</u> , Laredo, Texas in the estimated amount of \$184,000.00, for the purchase of ready mix cement; Martin Marietta, Corpus Christi, Texas in the estimated amount of \$118,250.00 for the purchase of Type A Flexible Base; Marlin Asphalt, Corpus Christi, Texas in the estimated amount of \$13,811.50 and GSAC, Houston, Texas in the estimated amount of \$4,200.00 for the purchase of asphalt oils. These will be the primary vendors for the purchase of materials required for all city paving and construction projects. The contract pricing for asphalt is approximately 0.5% higher than the previous contract price. Funding is available in the Engineering Department - Public Works Division budget and construction projects budgets.	
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rogelio Rivera, City Engineer Francisco Meza, Purchasing Agent	
PREVIOUS COUNCIL ACTION: None.		
<p>BACKGROUND: Bids were accepted for awarding contracts for the purchase of materials used in street paving, street reconstruction, and general repair projects for all City departments. These materials consist of asphalt, black base, flexible base, ready mix concrete, sand, and oils and emulsions. Bid pricing is requested on F.O.B. job site delivery of materials and F.O.B. picked up by City trucks at the material provider's plant. All bids must be submitted with a certified laboratory test report to assure compliance with City requirements. The Engineering Department and the Public Works Department have reviewed all bids received.</p> <p>The bids specifications include a provision for securing materials from a secondary vendor if the contract vendor cannot fulfill the City's delivery requirements. A complete bid tabulation is attached for your review.</p>		
FINANCIAL IMPACT: These materials are used by city departments required for all city paving and construction projects.		
COMMITTEE RECOMMENDATION:	STAFF RECOMMENDATION: It is recommended that contracts be awarded to the low bidders.	

Contract Award Summary

Leyendecker Material	Contract Award
Black Base, F.O.B. Job site	\$ 27,500.00
Black Base, F.O.B. Plant	\$ 245,000.00
Asphalt Type D, F.O.B. Plant	\$ 625,000.00
Asphalt Type D, F.O.B. Job Site	\$ 27,500.00
Asphalt Cold Laid, F.O.B. Plant	\$ 52,000.00
Gravel, F.O.B. Job Site	\$ 10,000.00
Gravel, F.O.B., Plant	\$ 8,000.00
Flexible base, F.O.B. Job Site	\$ 7,000.00
Flexible base, F.O.B. Plant	\$ 6,000.00
Flexible base, Type B F.O.B. Plant	\$ 80,000.00
Sand, F.O.B. Plant	\$ 6,500.00
Sand, F.O.B. Job Site	\$ 8,000.00
	\$1,102,500.00

City Ready Mix	Contract Award
Class A – Cement, 3000 psi	\$ 156,000.00
Class C – Cement, 3600 psi	\$ 28,000.00
	\$ 184,000.00

GSAC	Contract Award
MS-1 Emulsified Asphalt F.O.B., Job Site	\$ 4,200.00

Marlin Asphalt	Contract Award
MS-1 Emulsified Asphalt, F.O.B. Plant	\$ 3,850.00
MC-30 Cutback Asphalt, F.O.B. Plant	\$ 4,750.00
MC-30 Cutback Asphalt, F.O.B. Job Site	\$ 5,211.50
	\$ 13,811.50

Martin Marietta Materials	Contract Award
Flexible Base Type A Job Site	\$ 108,000.00
Flexible Base Type A Plant	\$ 10,250.00
	\$ 118,250.00

COMMODITY	VENDOR	EST QTY	UNIT	PRICE	TOTAL	MILES FROM DPW TO PLANT	FACTOR OF \$0.20 MILE	UNIT PRICE LOW BID DETERMINATION	PREVIOUS CONTRACT PRICE
ASPHALT-TYPE D HOT MIX F.O.B. PLANT #I	LEYENDECKER MATERIALS	25,000	TONS	25.00	625,000.00	3.8	0.76	25.76 *	26.00 TON
								0.00 *	
ASPHALT-TYPE D HOT MIX F.O.B. JOB SITE #II	LEYENDECKER MATERIALS	1,000	TONS	27.50	27,500.00				28.00 TON
ASPHALT - COLD LAID F.O.B. PLANT #III	LEYENDECKER MATERIALS	2,000	TONS	26.00	52,000.00	3.8	0.76	26.76 *	27.00 TON
								0.00 *	
READY MIX CEMENT CLASS A - 3000 PSI F.O.B. JOBSITE #IV-A	CITY READY MIX	3,000	CU.YDS.	52.00	156,000.00	\$50.00 ON ORDERS LESS THAN 3 YD			52.00 CYD
READY MIX CEMENT CLASS C - 3600 PSI F.O.B. JOBSITE #IV-B	CITY READY MIX	500	CU.YDS.	56.00	28,000.00				55.00 CYD
ASPHALT OILS #V MS-2 PICKED UP PLANT	MARLIN ASPHALT	5,000	GAL.	0.7700	3,850.00				0.77
	ERGON ASPHALT	5,000	GAL.	0.8800	4,400.00				
	LEYENDECKER MATERIALS	5,000	GAL.	2.0000	10,000.00				
ASPHALT OILS #VI MS-1 OR -2 DELIVERED	GULF STATES ASPHALT CO.	5,000	GAL.	0.8400	4,200.00				0.8200 GAL
	MARLIN ASPHALT	5,000	GAL.	0.8700	4,350.00				
	LEYENDECKER MATERIALS	5,000	GAL.	1.5000	7,500.00				
ASPHALT OILS #VII MC-30 (CUTBACK PICKED UP PLANT	MARLIN ASPHALT	5,000	GAL.	0.9500	4,750.00				0.96
	LEYENDECKER MATERIALS	5,000	GAL.	2.0000	10,000.00				
ASPHALT OILS #VIII MC-30 (CUTBACK ASPHALT) DELIVERED	MARLIN ASPHALT	5,000	GAL.	1.0423	5,211.50				1.0400 GAL
	GULF STATES ASPHALT CO.	5,000	GAL.	1.1300	5,650.00				
	LEYENDECKER MATERIALS	5,000	GAL.	1.7500	8,750.00				
FLEXIBLE BASE #IX F.O.B. JOB SITE	LEYENDECKER MATERIALS	1,000	CU. YDS	7.00	7,000.00				6.50 CYD
	PETE GALLEGOS	1,000	CU. YDS	9.50	9,500.00				
FLEXIBLE BASE #X F.O.B. PLANT	LEYENDECKER MATERIALS	1,000	CU.YDS	6.00	6,000.00			**	5.25 CYD
	PETE GALLEGOS	1,000	CU. YDS	7.50	7,500.00			*	
FLEXIBLE BASE TYPE A F.O.B. JOB SITE #XI	MARTIN MARIETTA	8,000	TONS	13.50	108,000.00				
FLEXIBLE BASE TYPE A F.O.B. PLANT #XII	MARTIN MARIETTA	1,000	TONS	10.25	10,250.00			*	
								*	
FLEXIBLE BASE TYPE B F.O.B. PLANT #XIII	LEYENDECKER MATERIALS	10,000	CU. YDS	8.00	80,000.00			*	
								*	
SAND - XIV F.O.B. JOB SITE	LEYENDECKER MATERIALS	1,000	CU. YDS	8.00	8,000.00				7.50 CYD
	PETE GALLEGOS	1,000	CU. YDS	9.50	9,500.00				
SAND - XV F.O.B. PLANT	LEYENDECKER MATERIALS	1,000	CU. YDS	6.50	6,500.00	10	2.00	8.50 *	6.00 CYD
	PETE GALLEGOS	1,000	CU. YDS	7.50	7,500.00	3.8	0.76	8.26 *	
BLACK BASE #XVI F.O.B. PLANT	LEYENDECKER MATERIALS	10,000	TONS	24.50	245,000.00	3.8	0.76	25.26 *	25.00 TON
								0.00 *	
BLACK BASE #XVII F.O.B. JOB SITE	LEYENDECKER MATERIALS	1,000	TONS	27.50	27,500.00				27.00 TON
GRAVEL #XVIII F.O.B. PLANT	LEYENDECKER MATERIALS	1,000	TONS	8.00	8,000.00	3.8	0.76	8.76 *	8.00 TON
	PETE GALLEGOS	1,000	TONS	8.00	8,000.00	8	1.60	9.60 *	
GRAVEL #XIX F.O.B. JOB SITE	LEYENDECKER MATERIALS	1,000	TONS	10.00	10,000.00	3.8	0.76	10.76 *	10.00 TON
	PETE GALLEGOS	1,000	TONS	10.00	10,000.00	8	1.60	11.60 *	

* FOR THE PURPOSE OF LOW BID DETERMINATION, A \$0.20 PER MILE CHARGE WILL BE ADDED TO THE UNIT PRICE FOR EACH MILE FROM THE PUBLIC WORKS COMPOUND TO THE VENDOR'S PLANT FOR THE FOLLOWING MATERIALS: BLACK BASE, F.O.B. PLANT, TYPE "D" HOT MIX ASPHALT, F.O.B. PLANT, ASPHALT COLD LAID, F.O.B. PLANT, FLEXIBLE BASE, F.O.B. PLANT, SAND, F.O.B. PLANT. THIS MILEAGE FACTOR IS ADDED TO DETERMINE THE ADDED COST TO THE CITY IN PICKING UP THE REQUESTED MATERIALS FROM THE VENDORS PLANT, TAKING INTO CONSIDERATION FUEL COSTS, EQUIPMENT COSTS, ETC.

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: MOTIONS Consideration to award contract number FY04-034 to the low bidder, RM Personnel, Inc., Laredo, Texas in the estimated amount of \$64,220.00 for providing contract employees for the Police Department and lots must be drawn, pursuant to provisions of Section 271.901 of the Local Government Code, to determine the low bidder for the contract employees requested by the Traffic Safety and Convention and Visitors Bureau for an estimated contract amount of \$26,160.40. RM Personnel and Staff Force bid the same hourly rate for these two departments. Temporary contract employees have been requested for office and custodial positions. Funding is available in the respective departmental budgets.
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INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Agustin Dovalina, Chief of Police Roberto Murillo, Traffic Safety Dept. Director Nick M. Reyna, LCVB Director Francisco Meza, Purchasing Agent
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PREVIOUS COUNCIL ACTION: None.

BACKGROUND: Two bids were received for awarding a contract for providing temporary contract employees for various city operations. The Convention and Visitor Bureau is requesting one custodial position working 30 hours per week for a forty two week period and the Traffic Safety Department is also requesting one custodial position for total of 35 hours per week for a fifty two week period. The Police Department has requested four, clerk typists and three custodial positions working 40 hours per week for a twenty five week period. The contract vendor(s) will provide liability and worker compensation insurance coverage for these contract employees.

Bid Summary

Department	RM Personnel, Inc.	Staff Force	
Police Department	\$64,220.00	\$66,780.00	
Traffic Safety	\$16,634.80	\$16,634.80	Tie Bid
Convention & Visitors Bureau	\$ 9,525.60	\$ 9,525.60	Tie Bid

Vendor	Department	Position	Hourly wage to be Paid by Contractor	Contractors Cost	Total Cost per Hour Paid to Contractor
RM Personnel	LCVB	Custodian	\$6.00	\$1.56	\$ 7.56
RM Personnel	Traffic Safety	Custodian	\$7.25	\$1.89	\$ 9.14
RM Personnel	Police	Clerk Typist	\$8.00	\$1.44	\$ 9.44
RM Personnel	Police	Custodian	\$6.00	\$1.82	\$ 8.82
Staff Force	LCVB	Custodian	\$6.00	\$1.56	\$ 7.56
Staff Force	Traffic Safety	Custodian	\$7.25	\$1.89	\$ 9.14
Staff Force	Police	Clerk Typist	\$8.00	\$2.08	\$10.08
Staff Force	Police	Custodian	\$6.00	\$1.82	\$ 8.82

FINANCIAL IMPACT: Funding is available in the following line item budgets:
 Police Department – Contractual Services, Account Number: 101-2320-523-5540
 Traffic Safety Dept. – Contractual Services, Account Number: 101-2610-523-5540
 LCVB – Contractual Services, Account Number: 250-5310-553-5540

COMMITTEE RECOMMENDATION:	STAFF RECOMMENDATION: It is recommended that this action be approved.
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**City of Laredo
Contract Labor
FY04-034**

**RM Personnel, Inc.
Laredo, Texas**

**Staff Force
Laredo, Texas**

Laredo Municipal Housing Corp.

Position	Number of employees	Hrs/week	Hourly Wage	Weekly Total	Annual Total	Hourly Wage	Weekly Total	Annual Total
Ground Keeper	1	15	\$ 8.82	\$ 132.30	\$ 6,879.60	\$ 8.82	\$ 132.30	\$ 6,879.60
Maintenance Worker	1	15	\$ 9.44	\$ 141.60	\$ 7,363.20	\$ 10.08	\$ 151.20	\$ 7,862.40
Clerk	1	20	\$ 10.08	\$ 201.60	\$ 10,483.20	\$ 10.08	\$ 201.60	\$ 10,483.20
					<u>\$ 24,726.00</u>			<u>\$ 25,225.20</u>

Convention and Visitor Bureau

Position	Number of employees	Hrs/week	Hourly Wage	Weekly Total	Annual Total	Hourly Wage	Weekly Total	Annual Total
Janitorial Clerk	1	30	\$ 7.56	\$ 226.80	\$ 11,793.60	\$ 7.56	\$ 226.80	\$ 11,793.60
					<u>\$ 11,793.60</u>			<u>\$ 11,793.60</u>

Traffic Safety Department

Position	Number of employees	Hrs/week	Hourly Wage	Weekly Total	Annual Total	Hourly Wage	Weekly Total	Annual Total
Janitorial Clerk	1	35	\$ 9.14	\$ 319.90	\$ 16,634.80	\$ 9.14	\$ 319.90	\$ 16,634.80
					<u>\$ 16,634.80</u>			<u>\$ 16,634.80</u>

Police Department

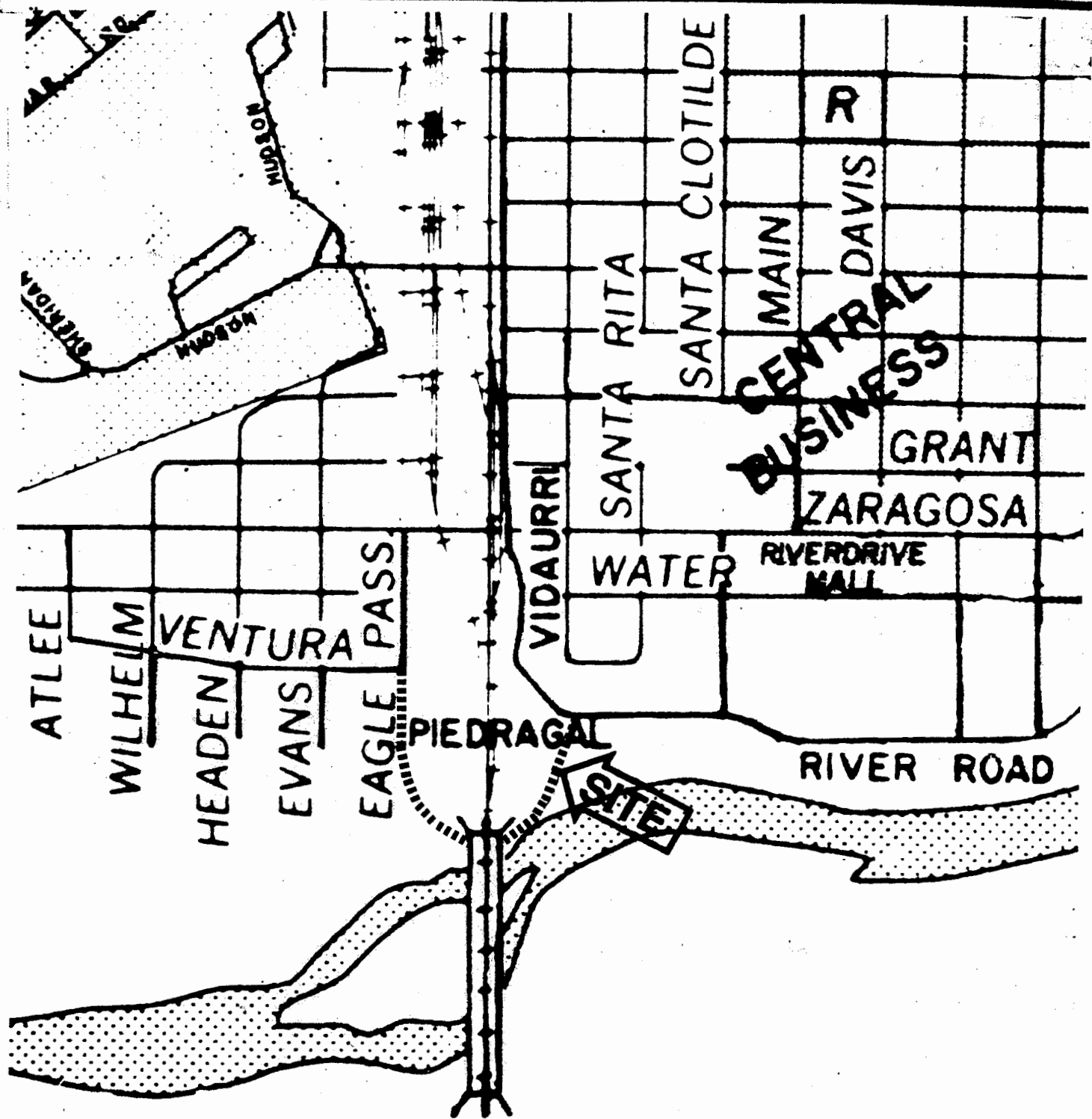
Position	Number of employees	Hrs/week	Hourly Wage	Weekly Total	Annual Total	Hourly Wage	Weekly Total	Annual Total
Clerk Typist	4	40	\$ 9.44	\$ 1,510.40	\$ 37,760.00	\$ 10.08	\$ 1,612.80	\$ 40,320.00
Custodian	3	40	\$ 8.82	\$ 1,058.40	\$ 26,460.00	\$ 8.82	\$ 1,058.40	\$ 26,460.00
25 wks. Only					<u>\$ 64,220.00</u>			<u>\$ 66,780.00</u>

COUNCIL COMMUNICATION

DATE: 1/12/04	SUBJECT: MOTIONS Consideration to award contract number FY04-028, to the SOLE BIDDER, Consolidated Traffic Controls, Inc., Arlington, Tx., in the amount of \$36,245.00, for the purchase of microwave radios and pager programmable time switches. The microwave radios will be used for on-going traffic signal upgrades, for replacements at damaged traffic signal locations and for new traffic signal installations. They provide the necessary communication from the remote site(s) and the central computer located at the Traffic Safety Dept. office. The pager programmable system allows for remote programming and activation of school flashing beacons throughout the city. Funding is available in the Traffic Safety Dept. Capital Improvement Project budgets.																						
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Roberto Murillo, Traffic Safety Director Francisco Meza, Purchasing Agent																					
PREVIOUS COUNCIL ACTION: None.																							
BACKGROUND: The City received one bid for the purchase of microwave radios and pager programmable time switches. The microwave radios will be used for on-going traffic signal upgrades, for replacements at damaged traffic signal locations and for new traffic signal installations. They provide the necessary communication from the remote site(s) and the central computer located at the Traffic Safety Dept. office. The pager programmable system allows for remote programming and activation of school flashing beacons throughout the city. Delivery is expected within fifteen days after receipt of order. Bid Summary <table border="1"><thead><tr><th>Consolidated Traffic Controls, Inc.</th><th>Qty.</th><th>Unit Price</th><th>Total</th></tr></thead><tbody><tr><td>MDS 9810 Microwave Radio</td><td>14</td><td>\$964.00</td><td>\$13,496.00</td></tr><tr><td>MDS INET Radio</td><td>3</td><td>\$2,123.00</td><td>\$ 6,369.00</td></tr><tr><td>CPR 2102 Pager Time Switches</td><td>30</td><td>\$ 546.00</td><td>\$16,380.00</td></tr><tr><td colspan="3">Grand Total</td><td>\$36,245.00</td></tr></tbody></table>				Consolidated Traffic Controls, Inc.	Qty.	Unit Price	Total	MDS 9810 Microwave Radio	14	\$964.00	\$13,496.00	MDS INET Radio	3	\$2,123.00	\$ 6,369.00	CPR 2102 Pager Time Switches	30	\$ 546.00	\$16,380.00	Grand Total			\$36,245.00
Consolidated Traffic Controls, Inc.	Qty.	Unit Price	Total																				
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MDS INET Radio	3	\$2,123.00	\$ 6,369.00																				
CPR 2102 Pager Time Switches	30	\$ 546.00	\$16,380.00																				
Grand Total			\$36,245.00																				
FINANCIAL IMPACT: Funds for the purchase of this items are available in the following line items budget: Traffic Safety Department – Materials to make repairs to traffic signals Account Number: 101-2610-522-3045- Traffic Signal Maint.(Del Mar & McPherson knock down) 402 Construction Projects: Account Number: 402-4324-535-4509-Market & Seymour Traffic Signal Installation Account Number: 402-4323-535-4905-Del Mar Blvd. & McPherson Traffic Signal Upgrade Account Number: 402-4321-535-4030-Traffic Signal Upgrades Account Number: 402-4321-535-4175-Lindenwood & Del Mar Blvd. Traffic Signal Upgrade																							
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: It is recommended that this contract be approved.																					

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration for approval of change order no. 4 to the construction contract with Brothers Paving, Inc., Laredo, Texas, for the San Francisco Xavier Road Street Improvements Project to add ninety (90) working days to the construction contract time to address erosion problems. Funding is available in the Capital Improvement Fund San Francisco Xavier Road Project.																								
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Rogelio Rivera, P.E., City Engineer																								
PREVIOUS COUNCIL ACTION: On September 3, 2002 City Council awarded a construction contract to the lowest bidder Brothers Paving, Inc., Laredo, Texas, for the San Francisco Xavier Road Street Improvements in the bid amount of \$618,791.44.																									
BACKGROUND: <p>The original project consisted of approximately 1500 linear feet of new roadway which is 36 feet from back-of-curb to back-of-curb and approximately 175 linear feet of roadway which will be reconstructed to replace an existing section of roadway at a point where the new roadway ties into the existing roadway in a "T" intersection. The new roadway will pass beneath the existing railroad bridge and will include the asphalt road work and related earth work along with a storm drainage system, an eight foot wide sidewalk approximately 1600 feet long, and permanent concrete rip-rap erosion protection for the river bank.</p> <p>Plans and specifications were prepared by Foster Engineering Company, Laredo, Texas.</p> <p>This change order no. 4 is to add ninety (90) working days to the construction contract to address erosion problems.</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">Original Contract Amount.....</td> <td style="text-align: right;">\$618,791.44</td> </tr> <tr> <td colspan="2">(Awarded by City Council on September 3, 2002)</td> </tr> <tr> <td>Change order no. 1.....</td> <td style="text-align: right;">\$ 10,066.58</td> </tr> <tr> <td colspan="2">(Signed by the City Manager on March 6, 2003)</td> </tr> <tr> <td>Change order no. 2.....</td> <td style="text-align: right;">\$ 4,000.00</td> </tr> <tr> <td colspan="2">(Signed by the City Manager on April 7, 2003)</td> </tr> <tr> <td colspan="2">To remove/dispose concrete structure.</td> </tr> <tr> <td>Change order no. 3.....</td> <td style="text-align: right;">\$ 4,500.00</td> </tr> <tr> <td colspan="2">(Signed by the City Manager on April 28, 2003)</td> </tr> <tr> <td colspan="2">Sidewalk Improvements at Los Dos Laredo Park.</td> </tr> <tr> <td>This change order no. 4.....</td> <td style="text-align: right;">\$ -0-</td> </tr> <tr> <td>Current construction contract amount.....</td> <td style="text-align: right;">\$637,358.02</td> </tr> </table>		Original Contract Amount.....	\$618,791.44	(Awarded by City Council on September 3, 2002)		Change order no. 1.....	\$ 10,066.58	(Signed by the City Manager on March 6, 2003)		Change order no. 2.....	\$ 4,000.00	(Signed by the City Manager on April 7, 2003)		To remove/dispose concrete structure.		Change order no. 3.....	\$ 4,500.00	(Signed by the City Manager on April 28, 2003)		Sidewalk Improvements at Los Dos Laredo Park.		This change order no. 4.....	\$ -0-	Current construction contract amount.....	\$637,358.02
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Current construction contract amount.....	\$637,358.02																								
FINANCIAL IMPACT: Funding is available in the Capital Improvement Fund San Francisco Xavier Road Project. Account No. 402-4323-535-5101																									
COMMITTEE RECOMMENDATION: N/A.	STAFF RECOMMENDATION: Approval of Motion.																								



CONSIDERATION FOR APPROVAL OF CHANGE ORDER # 4, FOR THE
SAN FRANCISCO XAVIER ROAD STREET IMPROVEMENTS PROJECT

CITY COUNCIL MEETING
JANUARY 12, 2004

CITY OF LAREDO
ENGINEERING DEPARTMENT
1110 HOUSTON ST. P.O. BOX 578 PH. 791-7346 FAX (210) 791-7496

AGENDA ITEM

COUNCIL COMMUNICATION

DATE: 01/12/2004	SUBJECT: MOTION(S) Consideration for approval of the selection of consultant Matrix Security Systems, Inc., Dayton, Ohio, for the Laredo International Airport Security Related Improvements (Design/Build) Project and authorization to negotiate a professional services contract. Funding is available in the Airport Construction Fund - FAA Grant #34.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Rogelio Rivera, P.E., City Engineer
PREVIOUS COUNCIL ACTION: None.		
BACKGROUND: Six (6) firms responded to the request for qualifications on Monday, November 17, 2003, at 4:00 P.M. as follows: <ol style="list-style-type: none">1. Video Surveillance Technology, Inc., Laredo, Texas2. AET, Inc., Laredo, Texas3. Best Access Systems, San Antonio, Texas4. Argus Security Systems, Inc., Laredo, Texas5. Matrix Security Systems, Inc., Dayton, Ohio6. Chubb Security Systems, San Antonio, Texas Scope of services include, but are not limited to: Oversight, design, and implementation of security related improvements to include security cameras, central and remote monitoring systems, upgrade existing access systems, perimeter fence sensors, pan/zoom cameras for full airfield coverage, misc. security related equipment, etc. and all tied in to a central command center. The Staff Committee composed of several City Departments evaluated the submittals and presentations, and based on the City's standard selection criteria (capability to perform, professional background, quality of projects, etc.). Matrix Security Systems, Inc., Dayton, Ohio, is recommended.		
FINANCIAL IMPACT: Funding is available in the Airport Construction Fund - FAA Grant #34. Account No. 433-3696-565-9001		
COMMITTEE RECOMMENDATION:. N/A.		STAFF RECOMMENDATION: Approval of Motion.

DATE: 01/12/2004	SUBJECT: MOTION Consideration for approval of acceptance of the Laredo Entertainment Center Construction Project. A one year warranty walk-through inspection was held on November 13, 2003. "Punch-list" items, ADA/TAS (American with Disabilities Act/Texas Accessibility Standards) items, as well as outstanding warranty items were reviewed and discussed. Punch-list items in existence as of the date of substantial completion are completed with the exception of one ADA/TAS item. This item is the power door operators for the housekeeping and Zamboni rooms.	
INITIATED BY: Larry Dovalina City Manager		STAFF SOURCE: Rogelio Rivera, P.E. City Engineer
PREVIOUS ACTION: On November 4, 2002, City Council approved the Project Plaque for the Laredo Entertainment Center.		
BACKGROUND: On February 5, 2001, City Council authorized the City Manager to execute a Development Agreement and an Operating Agreement with Arena Ventures, L.L.C., related to the Laredo Entertainment Center. On June 28, 2001, the Architectural & Engineering Focus Group approved the quality arena standards and the Laredo Entertainment Center budget. On November 13, 2001, City Council approved the selection of the Exterior Building Materials and Color Scheme and the Interior Block Selection and Seating for the Laredo Entertainment Center. On April 15, 2002, LAN/Frank Architects, Inc. gave a presentation on the Interior Color Scheme for the Laredo Entertainment Center. On June 3, 2002, City Council approved Change Order #1 for the installation of a center-hung scoreboard. On July 15, 2002, City Council approved to place the Laredo Entertainment Center Marquee Sign in the public right-of-way. The location will be the southwest corner clip at Jacaman Rd. and Bob Bullock Loop on City right-of-way. <p style="text-align: center;">Continue on Page 2 of 3</p>		
FINANCIAL: N/A.		
COMMITTEE RECOMMENDATION: N/A.		STAFF RECOMMENDATION: Approval of Motion.

A one year warranty walk-through inspection was held on November 13, 2003. Punch-list items, ADA/TAS (American with Disabilities Act/Texas Accessibility Standards) items, as well as outstanding warranty items were reviewed and discussed.

Punch-list items in existence as of the date of substantial completion are completed with the exception of one ADA/TAS item. This item is the power door operators for the housekeeping and Zamboni rooms.

All the non-complying items included in the TAS inspection report have been corrected with the exception of the following:

“Doors to the housekeeping and adjacent Zamboni room do not have the required maneuvering clearance. Front approaches to the pull side of swing doors shall have a minimum 18” clear for a minimum of 60” perpendicular to the door.”

Lockwood, Andrews & Newnam, Inc. (LAN) has sent a variance application to TDLR (Texas Department of Licensing & Regulation) for the Zamboni room door violation that was cited on the TAS inspection report.

There are three possible outcomes with the variance application:

1. If the variance is approved, the Zamboni room will remain unchanged and it will not be required to be handicap accessible.
2. TDLR may issue a “Conditional Postponement” which means that no alterations to the room are required until such a date a handicapped employee is hired to work in the Zamboni room.
3. If the variance is rejected, both the housekeeping and Zamboni room doors will need openers/closers.

Beers/Reed Construction is working on installing a door opener/closer for the housekeeping room door.

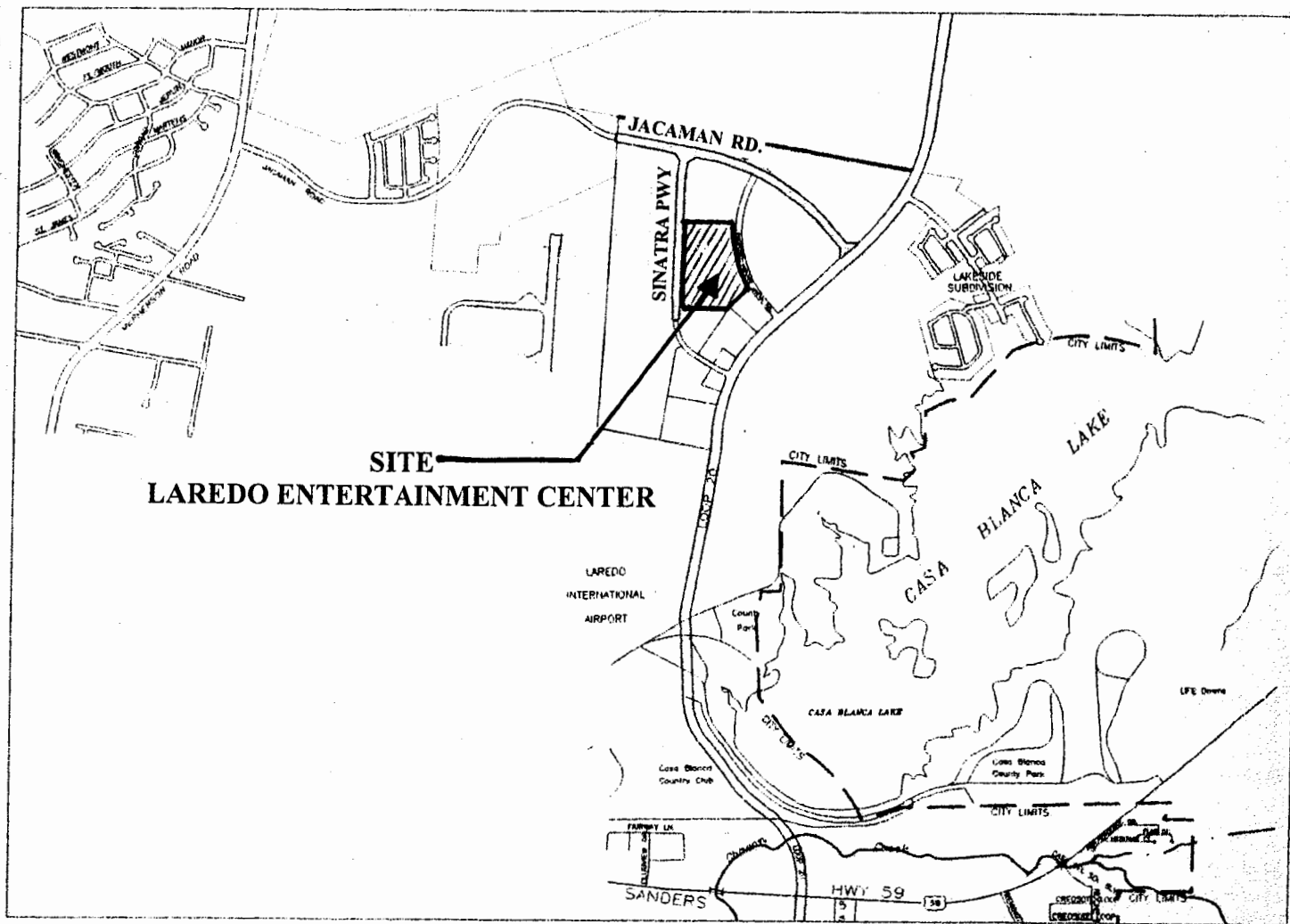
Finally, As per Development Agreement, Article XII – SCHEDULE AND REPORTS, Section 12.5 Final Construction Report:

The Project Developer shall deliver or cause to be delivered to the City's Representative and the City's Consultant a report which shall set forth the total costs incurred by the Project Developer in connection with the design and construction of the Project Improvements through the date of such report. This report shall be delivered no later than within 35 months after the issuance of the Bonds.

This Final Construction Report must be submitted to the City of Laredo no later than April 23, 2004.

Laredo Entertainment Center (LEC) Project Development Budget:	\$35,500,000.00
Change Order #1 – Center-hung Scoreboard Upgrade	\$290,000.00
Total Project Development Budget	\$35,790,000.00
Total Invoiced to date:	\$35,750,510.10
Pending Payment to International Facilities Group (IFG)	\$25,000.00
(To be paid after Final Construction Report is reviewed and approved as per contract)	
BALANCE TO DATE:	\$14,489.90*

* Power door operators for the housekeeping and Zamboni rooms to be paid from this balance.



CONSIDERATION FOR APPROVAL OF ACCEPTANCE OF THE LAREDO ENTERTAINMENT CENTER

CITY COUNCIL MEETING
JANUARY 12, 2004

CITY OF LAREDO
ENGINEERING DEPARTMENT
1110 HOUSTON ST. P.O. BOX 579 PM 791-7346 FAX (210) 791-7496

AGENDA ITEM



COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: MOTIONS Consideration to award contract FY04-030, to the low bidder, A Clean Portoco, Laredo, Texas, in the estimated amount of \$25,000.00, for providing portable restrooms for city parks, city sponsored events, and construction job-sites. All services will be secured on an as need basis. Contract pricing has been secured for daily, weekend, and monthly service. The bid pricing is the same as last year. Funding for this contract is available in the Public Works – Street Reconstruction and Parks and Recreation department budgets.																									
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Horacio De Leon, Parks and Recreation Dept. Director Rogelio Rivera, Engineering Dept. Director Francisco Meza, Purchasing Agent																									
PREVIOUS COUNCIL ACTION: None.																										
BACKGROUND: The City received two bids for awarding an annual contact for providing portable restrooms. Portable restrooms are used at city parks, city sponsored events, and construction job-sites. Contract pricing has been established for daily, weekend, and monthly rentals. The contract vendor must provide male and female restrooms and when requested, portable restrooms that are accessible by physically challenged individuals.																										
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FINANCIAL IMPACT: Funds for this service are available in the Parks and Recreation and Public Works Departmental budgets. Rental fees for construction projects are charged to the specific project.																										
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COMMITTEE RECOMMENDATION: 	STAFF RECOMMENDATION: It is recommended that this contract be approved.																									

CITY COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: MOTION Authorizing the City Manager to submit a grant application and execute all required documents resulting from this submission to the Federal Transit Administration (FTA) for the Individualized Marketing Demonstration proposal. The FTA is undertaking a research demonstration program aimed at increasing public transit ridership with a minimal need for capital investments and has proven successful in Portland, Oregon. Laredo will be competing with transit agencies throughout the U.S. Only four communities will be selected for the pilot marketing program.	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Thomas Lucek, Transit General Manager
PREVIOUS COUNCIL ACTION: None.		
BACKGROUND: The FTA will be investing federal resources in a partnership with transit agencies in four competitively selected pilot communities in the U.S. The FTA's pilot project centers on personalized, individual marketing of potential commuters who might consider using public transit, but need more information. Taking transit to the people has proven to be a unique method of boosting ridership without increased spending on infrastructure. Utilizing a dialog-based technique for promoting the use of public transport, the program provides targeted, personalized, customized marketing tailored for individuals that are most likely to change their travel behavior. The FTA will fund contractor support who will perform the Individualized Marketing Pilot in the four selected locations in close coordination and partnership with the transit agencies and local officials of the city/area. Each location will have unique characteristics to test the true potential of the individualized marketing concept. The City of Laredo and Laredo Transit Management, Inc. non-federal share for the grant project is \$10,000 for printing expenses.		
FINANCIAL: N/A		
COMMITTEE RECOMMENDATION:		STAFF RECOMMENDATION: Staff recommends approval of this communication.

Application for Expressions of Interest

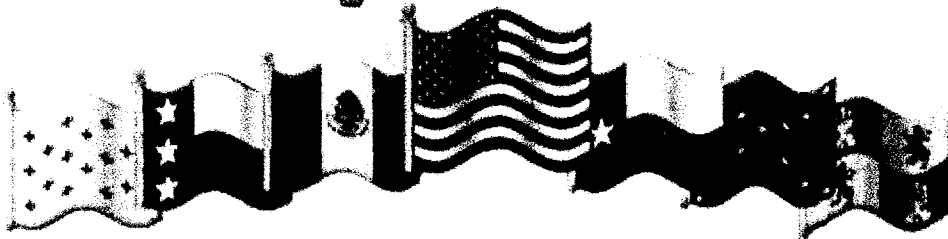
**FEDERAL TRANSIT ADMINISTRATION
INDIVIDUALIZED MARKETING
DEMONSTRATION**

By

**City of Laredo and
The Laredo Transit Management Incorporated
Laredo, Texas**



City of Laredo



January 1, 2004

Laredo Transit Management Inc.

1301 Farragut Street, Laredo, TX 78040-4902 • (956) 795-2288 • (956) 795-2258

January 1, 2004

Mr. Doug Birnie
Federal Transit Administration
Room 9114
U.S. Department of Transportation
400 7th St. W.
Washington, D.C. 20590

Re: Application for Expressions of Interest FTA Individualized Marketing Demonstration

Dear Mr. Birnie:

This letter is to certify that the Laredo Transit Management, Incorporation would like to submit this proposal for the FTA's Individualized Marketing Demonstration.

The Laredo Transit System, "El Metro," has been providing public transportation services since 1985. The residents and visitors that ride El Metro are very dependent on the transit system for their daily life activities. Trips for these daily passengers include employment, shopping, school, hospice, and traveling. The City provides service on 22 fixed routes and ridership is expected to be approximately 5 million in 2003.

The City of Laredo and the Laredo Transit Management, Incorporated non-federal share of the proposed grant project is \$10,000 as in-kind shown on the proposed budget.

If you need additional information, please do not hesitate to call me at (956)795-2288 extension 234 or by email tlucek@ci.laredo.tx.us.

Sincerely,
Thomas N. Lucek
Thomas N. Lucek
General Manager

TNL/eb

Table of Contents:

Section A - Project Data Summary	pages 4 - 5
Section B - Questions	pages 6 - 7
Section C - Contact Information and Authorization	pages 8 - 9
Section D – Project Budget Plan	pages 10 -11

COUNCIL COMMUNICATION

DATE: 01/12/04	SUBJECT: MOTION(S) Consideration to authorize the City Manager to execute a contract with Petroleum Solutions of San Antonio, TX in the amount of \$114,185.62 for the design/construction of an aboveground storage tank fueling station at the City of Laredo Solid Waste Facility on Hwy 359. Funding is available in the Solid Waste Fund.
INITIATED BY: Larry Dovalina City Manager	STAFF SOURCE: Oscar J. Medina Solid Waste Director
PREVIOUS COUNCIL ACTION: On December 16, 2002, city council approved the selection of Petroleum Solutions of San Antonio, Texas for the design/construction of an aboveground storage tank fueling station at the City of Laredo Solid Waste Facility as per recommendation of the Architectural and Engineering Review Committee. City council also authorized the city manager to negotiate a professional service contract with Petroleum Solutions.	
BACKGROUND: The design/build project of a fueling station will be constructed at the Solid Waste Department located on 6912 Hwy. 359. The primary justification for this project is to gain greater efficiency of the sanitation trucks. Currently, the trucks need to travel seven miles one way for diesel fuel. The scope of services consists of the following elements: <ul style="list-style-type: none">• Installation of a 12,000 gallon Fireguard double-wall above ground storage tank;• Installation of two Gasboy dispensers;• Installation of a Fleet Management System;• Installation of a tank monitoring;• Installation of tank accessories, including manholes, submersible pumps, guard posts, canopy, fence and pipe;• Construction of a concrete pad for the tank and dispenser;• Foundation and fuel system engineering;• Geotechnical testing;• Canopy engineering, and;• Engineering services for a SPCC plan. <p>The fueling station described above will be installed in accordance with all applicable U.S. Environmental Protection Agency and Texas Commission on Environmental Quality regulations. Petroleum Solutions will obtain all applicable local/state permits and assist with the final fire marshal inspection. The work schedule time is 33 working days with four weeks from date of order for equipment lead time.</p>	
FINANCIAL: Funding is available in the Solid Waste Fund. The account number is 556-2550-533-5500.	
COMMITTEE RECOMMENDATIONS: N/A	STAFF RECOMMENDATIONS: Approval of Motion.

STAFF REPORTS

- A. Presentation by US Army Corps of Engineers regarding the creation of the Restoration Advisory Board (RAB) for the Former Laredo Air Force Base. The RAB is a forum of discussion and exchange of information about an installation's Restoration/Base Realignment and Closure (IR/BRAC) or Formerly Used Defense Sites (FUDS).
- B. Staff report on park projects for District II, District V, and District VII, and District VIII, with possible action.
- C. Status report on the Calle Iturbide Project.
- D. Presentation by Roberto Murillo, Traffic Safety Director, regarding implementation of a recommended plan of action for the taxicab industry that is consistent with some of the findings and recommendations identified in a recently conducted City of Laredo Taxicab Industry Study, with possible action.

COUNCIL COMMUNICATION

DATE: 01-12-2004	SUBJECT: EXECUTIVE SESSION PURSUANT TO SECTION 551. 071 OF THE GOVERNMENT CODE TO DISCUSS WITH THE CITY ATTORNEY THE PENDING CASE OF MARTIN VILLARREAL ET AL. V. CITY OF LAREDO, ET AL., CAUSE NO. L-O3-11 IN THE U.S. DISTRICT COURT, SOUTHERN DISTRICT OF TEXAS, LAREDO DIVISION, AND RETURN TO OPEN SESSION FOR POSSIBLE ACTION THEREON.		
INITIATED BY: Jaime L. Flores City Attorney		STAFF SOURCE: Jaime L. Flores City Attorney	
PREVIOUS COUNCIL ACTION: None.			
BACKGROUND: None.			
FINANCIAL: None.			
RECOMMENDATION:		STAFF RECOMMENDATION:	

COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: EXECUTIVE SESSION Request for executive session pursuant to Texas Government Code Section 551.072 in order to deliberate on the possible purchase, lease, or value of the Camino Colombia Toll Road, because deliberation in an open meeting would have a detrimental effect on the position of the City Council in negotiations with third persons; and return to open session for possible action.	
INITIATED BY: Larry Dovalina City Manager		STAFF SOURCE: Cynthia Collazo Assistant City Manager
PREVIOUS ACTION: None.		
BACKGROUND: None.		
FINANCIAL: None.		
RECOMMENDATION: None.		STAFF RECOMMENDATION: None.

LAREDO MUNICIPAL HOUSING CORPORATION

DATE: 01/12/04	SUBJECT: Consideration to award contract FY04-034 to the low bidder, RM Personnel, Inc., Laredo, Texas in the estimated amount of \$25,000.00 for providing contract employees for the Noise Abatement Program. Three contract employees will be required to work on an as need basis, as a groundskeeper, maintenance worker, and clerk. Funding is available the Noise Abatement Lease Program budget administered by the Laredo Municipal Housing Corporation.																																						
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Erasmo Villarreal, Community Development Department Director Francisco Meza, Purchasing Agent																																					
PREVIOUS BOARD ACTION: None																																							
BACKGROUND: Two bids were received for awarding a contract for providing contract employees for the Laredo Municipal Housing Corporation. These contract employees will be assigned on an as need basis to the Noise Abatement Lease Program as groundskeeper, maintenance worker and clerk to not exceed \$25,000 during this fiscal year.																																							
Bid Summary																																							
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FINANCIAL: Funding will be available from the following Noise Abatement Program budget: Noise Abatement Lease Program – Contract Labor Account Number: 257-3686-543-5540																																							
		STAFF RECOMMENDATION: Staff recommends that this contract be authorized.																																					

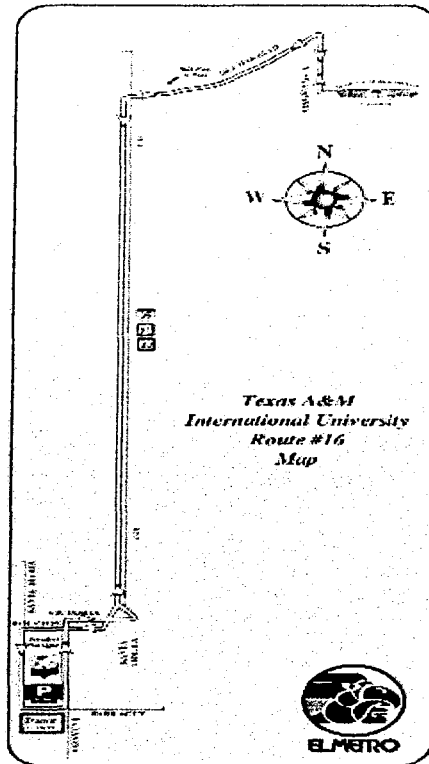
CITY COUNCIL SITTING AS THE MASS TRANSIT BOARD

DATE: 1-12-04	SUBJECT: MOTION To authorize the City Manager to waive the parking fee for persons attending the Jamboozie Festival and implementing a flat fee charge of \$200.00 to the Streets of Laredo Urban Mall Association for personnel costs, overtime and extra security for traffic and crowd control for the use of the parking facility on January 31, 2004 from 9:00 p.m. to February 1, 2004 to 2:00 a.m..	
INITIATED BY: Larry Dovalina, City Manager		STAFF SOURCE: Thomas N. Lucek, General Manager
PREVIOUS BOARD ACTION: None		
BACKGROUND: The WBCA Jamboozie is once again requesting the assistance of the City of Laredo and El Metro to waive the parking fees but pay a flat fee of \$200.00 for personnel costs (overtime and extra security for traffic and crowd control) for the use of the Transit Center parking facility for the Jamboozie Festival on Saturday; January 31, 2004 from 9:00 p.m. to Sunday, February 1, 2004 to 2:00 a.m..		
FINANCIAL: Flat rate fee of \$200.00 to be charged for the use of the Transit Center Parking Facility by the WBCA Jamboozie Festival. Revenues will be deposited to Daily Parking Account # 518-0000-361-1013.		
COMMITTEE RECOMMENDATION		STAFF RECOMMENDATION: Staff recommends approval of this motion.

CITY COUNCIL COMMUNICATION

DATE: 1-12-04	SUBJECT: MOTION Authorizing the City Manager to adjust the number of weekly service hours from ninety-seven (97) to forty-two (42) on route 21 South Laredo TAMIU, effective January 19, 2004, by transferring 55 service hours to the following two routes due to higher ridership. The transfer of forty-two (42) out of the fifty-five (55) service hours shall be added to route 14 Santa Rita upon the opening of the LCC South Campus, therefore increasing the number of weekly service hours from 93 to 135. The remaining thirteen (13) transferred service hours shall be added to route 16 TAMIU effective January 19, 2004, therefore increasing the number of weekly service hours from 91 to 104.				
INITIATED BY: Larry Dovalina, City Manager			STAFF SOURCE: Thomas Lucek, General Manager		
PREVIOUS COUNCIL ACTION: Trial run was approved on August 5, 2002.					
BACKGROUND: Laredo Metro, Inc., made a recommendation to City Council on August 5, 2002 for the establishment of a new bus route that connected South Laredo to North Laredo that ran on Hwy 83 and Loop 20 to TAMIU. The route was implemented on August 24, 2002 for a trial period of ninety (90) days and was extended due to a change in management. The average daily ridership in the last 10 months has been less than 10 boardings per day. Below is a summary of the current and proposed bus hours per route.					
Bus Hours Per Route- Current					
<u>Route</u>	<u>Hours per Weekday</u>	<u>Hrs per Saturday</u>	<u>Hrs per Sunday</u>	<u>Total Hours</u>	<u>Total Ridership</u>
#16 TAMIU	75	9	7	91	27,695
#21 South Laredo/ TAMIU	75	15	7	97	1,086
#14 Santa Rita	<u>67.5</u>	<u>13.5</u>	<u>12</u>	<u>93</u>	26,823
Total	217.5	37.5	26	281	
Bus Hours Per Route- Proposed					
<u>Route</u>	<u>Hours per Weekday</u>	<u>Hrs per Saturday</u>	<u>Hrs per Sunday</u>	<u>Total Hours</u>	
#16 TAMIU	85	12	7	104	
#21 South Laredo/ TAMIU	30	6	6	42	
#14 Santa Rita	<u>102.5</u>	<u>19.5</u>	<u>13</u>	<u>135</u>	
Total	217.5	37.5	26	281	
Please see attached Exhibit A & B					
FINANCIAL: NONE					
COMMITTEE RECOMMENDATION:			STAFF RECOMMENDATION: Staff recommends approval of this motion.		

TAMIU **Route 16 Description**



Route 16 Statistics

Current Bus Schedule

			Total Hrs.
Monday thru Friday	7:00 A.M.	10:00 P.M.	75
Saturday	10:00 A.M.	7:00 P.M.	9
Sunday	12:00 P.M.	7:00 P.M.	7
	TTL per week		<u>91</u>

Ridership by Month - 2003

		Total Hrs. per month
July	8,431	409
August	7,853	395
September	11,411	394
Total	<u>27,695</u>	<u>1,198</u>

Proposed Bus Schedule

			Total Hrs.
Monday thru Friday	7:00 A.M.	10:00 P.M.	85
Saturday	7:00 A.M.	7:00 P.M.	12
Sunday	12:00 P.M.	7:00 P.M.	7
	TTL per week		<u>104</u>

(2 bus hours per weekday x 5)

Total Boardings per Hour for 3rd Quarter

(27,695 ÷ 1,198)

23.12 Rounded equals to 23 boardings per hour

Total \$Costs per month @ \$60.93 per hour		\$Cost per passenger	
July	\$ 24,920.37	\$ 2.96	(\$24,920.37 ÷ 8,431)
August	\$ 24,067.35	\$ 3.06	(\$24,067.35 ÷ 7,853)
September	\$ 24,006.42	\$ 2.10	(\$24,006.42 ÷ 11,411)
Total	<u>\$ 72,994.14</u>	<u>\$ 2.64</u>	<u>(\$72,994.14 ÷ 27,695)</u>

System Total for 3rd Quarter

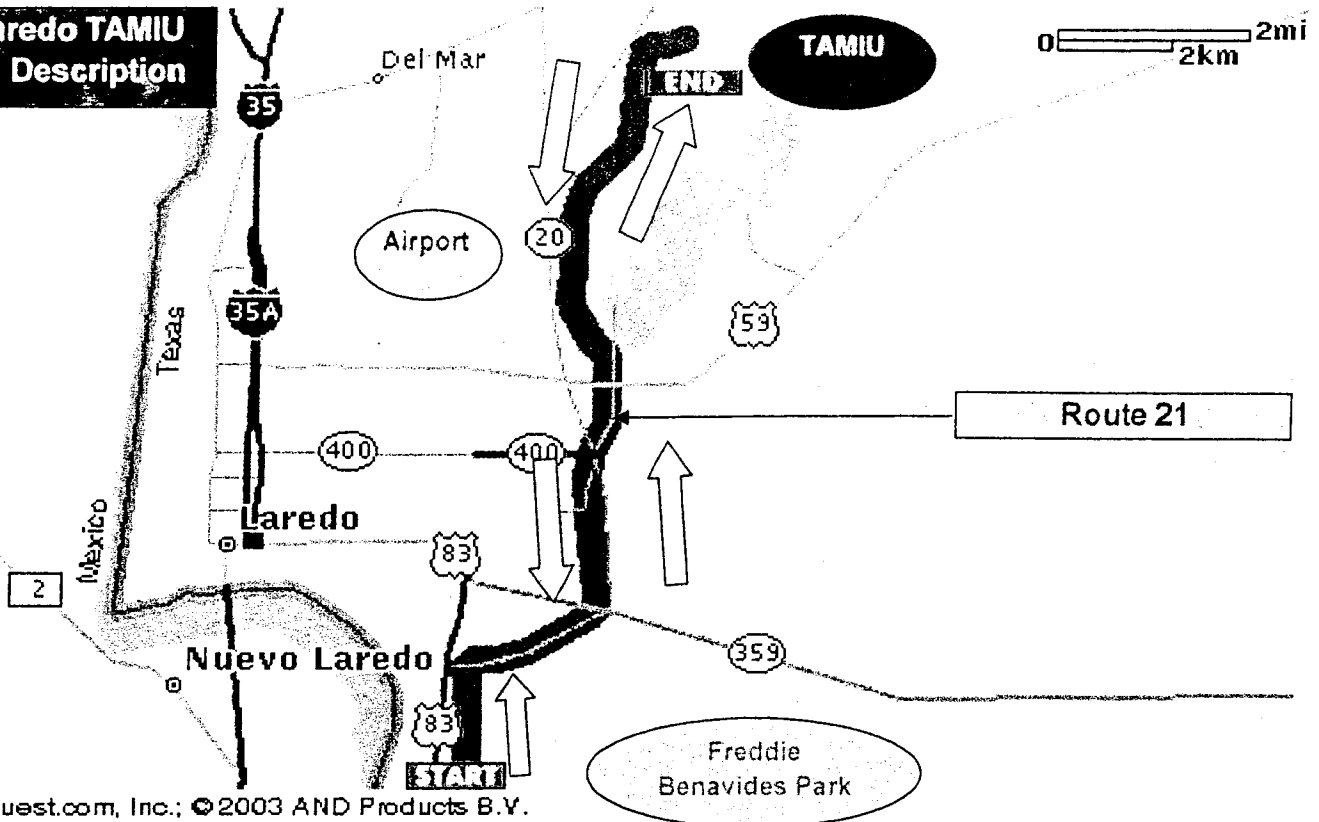
Total Ridership July - Sept. = 876,724

Total \$Cost Per Passenger July - Sept. = \$ 2.75

Total Bus Hrs. July - Sept. = 39,504

Total Boardings per Hr. = 22.20

South Laredo TAMIU Route 21 Description



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Route 21 Statistics

Current Bus Schedule		Total Hrs.
Monday thru Friday	6:45 A.M. 9:45 P.M.	75
Saturday	6:45 A.M. 9:45 P.M.	15
Sunday	12:00 P.M. 7:00 P.M.	7
TTL per week		97

Ridership by Month - 2003		Total Hrs. per month
July	298	433
August	362	425
September	426	418
Total	1,086	1,276

Total Boardings per Hour for 4th Quarter

(1,276 ÷ 1,086)

0.85 Rounded equals to 1 boarding per hour

Total \$Costs per month @ \$60.93 per hour		\$Cost per passenger	
July	\$ 26,382.69	\$ 88.53	(\$26,382.69 ÷ 298)
August	\$ 25,895.25	\$ 71.53	(\$25,895.25 ÷ 362)
September	\$ 25,468.74	\$ 59.79	(\$25,468.74 ÷ 426)
Total	\$ 77,746.68	\$ 71.59	(\$77,746.68 ÷ 1,086)

System Total for 3rd Quarter

Total Ridership July - Sept. = 876,724

Total \$Cost Per Passenger July - Sept. = \$ 2.75

Total Bus Hrs. July - Sept. = 39,504

Total Boardings per Hr. = 22.20

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LAREDO TRANSIT MANAGEMENT, INC BOARD OF DIRECTORS

DATE: 01/12/04	SUBJECT: MASS TRANSIT BOARD <p>Consideration to award contracts for providing group health insurance coverage, for a period of twelve months, to Blue Cross Blue Shield of Texas in the estimated annual amount of \$1,042,748.00; life insurance with accidental death and dismemberment (AD&D), for a period of three years, in the estimated annual amount of \$14,889 to Mutual of Omaha; and short term disability insurance, for a period of two years, in the estimated annual amount of \$71,440.00 to Mutual of Omaha. The insurance agent for these policies will be Laurel Insurance Agency & Associates, Inc., Laredo, Texas.</p> <p>An evaluation of the numerous proposals was undertaken by staff, an independent consultant and an El Metro employee insurance committee. The collective agreement between the transit union and Laredo Transit Management Inc. requires the system to pay 100% of the employee cost and 50% of the dependent cost for the group health insurance plan and 100% of the cost for the life insurance and short term disability for eligible employees.</p> <p>The cost for the health insurance will be same as the previous twelve month period, but the group life and short term disability insurance annual cost to the transit system will be \$41,451.00 less. Funding is available in the Transit budget.</p>
INITIATED BY: Larry Dovalina, City Manager	STAFF SOURCE: Tom Lucek, General Manager Francisco Meza, Purchasing Agent
PREVIOUS BOARD ACTION: None	
BACKGROUND: Authorization is requested to enter into contracts with the listed providers for providing employee and dependent coverage's for group health insurance and employee coverage for group life/AD&D and short term disability insurance coverage. Blue Cross Blue Shield is being recommended to provide the group health insurance. They are the current provider and will maintain their current rates for another twelve month period. Mutual of Omaha is being recommended to provide the group life and short term disability insurance. The annual cost for the group life insurance will be \$22,333 less than the current rate and the annual cost for the short term disability insurance will be \$19,118 less for the same coverage.	
FINANCIAL: Funding is available in the Group Insurance accounts of the Transit divisions.	
	STAFF RECOMMENDATION: Staff recommends that this contract be authorized.

CITY OF LAREDO

CITY COUNCIL MEETING

A-2004-S-01

CITY COUNCIL CHAMBERS

1110 HOUSTON STREET

LAREDO, TEXAS 78040

JANUARY 12, 2004

5:30 P.M.

SUPPLEMENTAL AGENDA

I. COMMUNICATIONS AND RECOGNITIONS

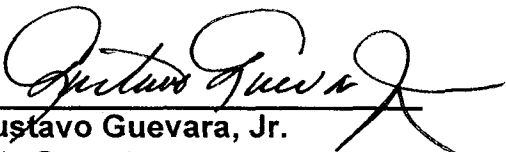
- a. Recognition of the John B. Alexander High School Cheerleaders for winning the National Championship in Dallas, Texas. (Co-sponsored by Council Member Hector J. Garcia, Council Member Gene Belmares and Council Member Jose A. Valdez, Jr.)

II. EXECUTIVE SESSION

The City Council hereby reserves the right to go into executive session at any time during this public meeting, if such is requested by the City Attorney or other legal counsel for the City, pursuant to his or her duty under Section 551.071(2) of the Government Code, to consult privately with his or her client on an item on the agenda, or on a matter arising out of such item.

III. ADJOURNMENT

This notice was posted at the Municipal Government Offices, 1110 Houston Street, Laredo, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, January 9, 2004 at 4:00 p.m.


Gustavo Guevara, Jr.
City Secretary